

CITY OF MONROE, GEORGIA



ARTICLE VII CHARACTER-BASED CODE



PUBLIC DRAFT

August
2024

TABLE OF CONTENTS

SECTION 700 GENERAL	8
SECTION 700.1 COMMON REFERENCE	8
SECTION 700.2 INTENT	8
SECTION 700.3 APPLICABILITY	8
700.3.1 General	8
700.3.2 Exclusive Zoning Regulation.	8
700.3.3 Relationship to Other Provisions.....	8
700.3.4 Compliance.	9
SECTION 700.4 TABLES, MAPS, PHOTOGRAPHS, IMAGES, ILLUSTRATIONS, FIGURES, GRAPHICS, DIAGRAMS & DEPICTIONS	9
SECTION 700.5 DEFINITIONS	9
SECTION 700.6 PREPARATION AND ADOPTION OF REGULATING PLANS	9
700.6.1 Initial Regulating Plan and Amendments	9
700.6.2 Contents of Regulating Plan	10
700.6.3 Special Requirements	10
SECTION 700.7 REGULATING PLAN AMENDMENT	10
SECTION 700.8 DETERMINATION OF STANDARDS	11
SECTION 700.9 APPLICATIONS	11
700.9.1 Regulating Plans & Amendments.....	11
700.9.2 Site Plans, Development Plans and Subdivision Plats.	11
SECTION 700.10 PLANS	11
700.10.1 Plan Required.....	11
700.10.2 Preparation and Requirements	11
700.10.3 Plan Submission.....	11
700.10.4 Plan Approval	12
SECTION 700.11 PREPARATION	12
SECTION 700.12 PLAN REQUIREMENTS	12
700.12.1 Compliance.....	12
700.12.2 Contents.....	12

SECTION 710 CHARACTER DISTRICTS & SPECIAL DISTRICTS 14

SECTION 710.1 GENERAL 14

 710.1.1 Applicability and Compliance 14

 710.1.2 Character District Defined 14

 710.1.3 Special District Defined. 14

 710.1.4 District Descriptions 14

SECTION 710.2 ASSIGNMENT OF CHARACTER DISTRICTS & SPECIAL DISTRICTS 14

 710.2.1 General 14

 710.2.2 Assignment of Civic Space within CD-CV for Certain Development Sites. 14

 710.2.3 Special Districts 15

SECTION 710.3 ELEMENTS AND STANDARDS 15

SECTION 720 STANDARDS & REQUIREMENTS 16

SECTION 720.1 GENERAL 16

SECTION 720.2 DISTRICT STANDARDS 16

 720.2.1 Districts. 16

 720.2.2 Specific to CD-CV (Civic) Districts & Civic Space 66

SECTION 720.3 LOTS 66

 720.3.1 Layers 66

 720.3.2 Lot Dimensions 66

 720.3.3 Lot Coverage 66

 720.3.4 Lot Enfrontment 66

 720.3.5 Certain Lots Prohibited 66

SECTION 720.4 BUILDING PLACEMENT, NUMBER & FRONT FACADES 67

 720.4.1 Building Placement 66

 720.4.2 Principal Buildings 67

 720.4.3 Accessory Building 67

 720.4.4 Building Facades 67

TABLE OF CONTENTS

SECTION 720.5 PRIVATE FRONTAGE, BUILDING FORM & BUILDING TYPE; FLOOR ELEVATION	68
720.5.1 Private Frontage – General.	68
720.5.2 Number of Private Frontages.	71
720.5.3 Building & Ceiling Height; Finished Floor Elevation.	71
720.5.4 Roof Type & Pitch	71
720.5.5 Habitable Area of Accessory Dwelling	72
720.5.6 Screens and Streetscreens	72
720.5.7 Building Types	72
SECTION 720.6 ENCROACHMENTS	87
SECTION 720.7 USES.	87
720.7.1 Principal Uses.	87
720.7.2 Accessory Uses.	87
720.7.3 Temporary Uses.....	87
720.7.4 Prohibited Uses.....	87
SECTION 720.8 PARKING.	98
720.8.1 General.	98
720.8.2 Parking Spaces Required.	98
720.8.3 Parking Reductions.	98
720.8.4 Parking Location.....	99
720.8.5 Vehicular Access.....	99
720.8.6 Vehicular Entrances & Exits.	99
720.8.7 Design	99
720.8.8 Drive-In & Drive-Through Locations & Standards	102
720.8.9 Stacking Spaces	103
720.8.10 Screens and Screening.....	103
720.8.11 Driveway Width.....	103
720.8.12 Pedestrian Exits.....	103
720.8.13 Liner Buildings Required	103

TABLE OF CONTENTS

SECTION 720.9 LOADING, SERVICE, STORAGE, TRASH RECEPTACLE EQUIPMENT, & OTHER ITEMS, LOCATIONS, & REQUIREMENTS	104
720.9.1 General	104
720.9.2 Locations of Certain Items	104
720.9.3 Vehicular Access	104
720.9.4 Vehicular Entrances & Exits	104
SECTION 720.10 PRIVATE & PUBLIC LIGHTING	104
720.10.1 Private & Public Lighting Fixtures	104
720.10.2 Private & Public Lighting Standards	106
SECTION 720.11 THOROUGHFARES & ALLEYS	106
720.11.1 General	106
720.11.2 Thoroughfare Types & Standards	107
720.11.3 Alleys	112
720.11.4 Additional Pedestrian Walkways	114
720.11.5 Connecting Driveways	114
720.11.6 Bicycle Accommodations	114
SECTION 720.12 CD-CV & CIVIC SPACES	118
720.12.1 Assignment	118
720.12.2 Civic Space Design	118
720.12.3 CD-CV Standards	125
720.12.4 Reservation for Civic Purposes	125
SECTION 720.13 PUBLIC & PRIVATE LANDSCAPING	125
720.13.1 General	125
720.13.2 Plant Materials	125
720.13.3 Placement of Trees	125
720.13.4 Tree Size	125
720.13.5 Shrub Size	125
720.13.6 Bare / Exposed Ground	126
720.13.7 Artificial Plants / Turf	126
720.13.8 Irrigation	126

TABLE OF CONTENTS

720.13.9 Temporary Spray Irrigation	126
720.13.10 Water Features	126
720.13.11 Prevention of Compaction	126
720.13.12 Preservation of Topsoil	126
720.13.13 Mitigation of Wind Erosion	126
720.13.14 Compacted Soils	126
720.13.15 Condition of Plants	126
720.13.16 Pavement of First Layer	126
720.13.17 Structural Soil	126
SECTION 730 SIGN STANDARDS	128
SECTION 730.1 GENERAL	128
SECTION 730.2 SPECIFIC TO DISTRICT SIGNS	128
SECTION 740 DEFINITIONS	148

DRAFT

**THIS PAGE INTENTIONALLY
LEFT BLANK**

DRAFT

SECTION 700

GENERAL

SECTION 700.1 COMMON REFERENCE.

This Article VII of the City Zoning Ordinance, as the same may be amended from time to time, is referred to herein, and otherwise may be referred to as this "Article" or this "Character-Based Code".

SECTION 700.2 INTENT.

The intent of this Character-Based Code is to provide for walkable, Mixed Use, and Character-Based Buildings, Lots, Development, and re-Development within all or such parts of the City as are designated a Character District or a Special District pursuant to this Article, as identified on the City Zoning Map.

Approval of a Regulating Plan must be obtained as a zoning map amendment (each, a "Regulating Plan", or if more than one, "Regulating Plans") for an area to be governed by this Character-Based Code. See Sections 700.6 and 700.7.

SECTION 700.3 APPLICABILITY.

700.3.1 General.

This Character-Based Code, each Regulating Plan, and the standards and requirements of this Character-Based Code, shall be applicable to an area and to all Development, re-Development, Improvements, land, Structures, modifications, construction, re-construction, Buildings and Lots in such area upon approval of a Regulating Plan for such area.

700.3.2 Exclusive Zoning Regulation.

Except as may be otherwise specifically provided in this Character-Based Code, upon approval of a Regulating Plan for an area, this Character-Based Code shall be the exclusive and mandatory zoning regulation for such area, and the provisions of this Character-Based Code shall be applied to such area.

700.3.3 Relationship to Other Provisions.

1. The provisions of this Character-Based Code shall take precedence over those of other City codes, ordinances, regulations, and standards to the extent that the same are in conflict with this Character-Based Code, except health and safety codes. Without limitation, the provisions of this Character-Based Code shall take precedence over any other provision of the City Zoning Ordinance or any provision of the City Development Regulations that may be in conflict with this Character-Based Code.
2. All City codes, ordinances, regulations, and standards (collectively, the "Existing Local Codes"), including without limitation, the City Development Regulations, and all other provisions of the City Zoning Ordinance, shall continue to be applicable to matters not covered by this Character-Based Code, except to the extent that the Existing Local Codes are inconsistent with, or in conflict with, this Character-Based Code.

700.3.4 Compliance.

Except for legal non-conformities allowed under the City Zoning Ordinance, within an area for which a Regulating Plan has been approved, all Development, re-Development, land, Improvements, construction, re-construction, modifications, Structures, Buildings and Lots, and all plans, applications and submissions required or submitted under this Character-Based Code, must comply with this Character-Based Code and the standards hereof as the same are in effect at the time of submission of a complete application for a proposal, and pursuant to the applicable approved Regulating Plan, Site Plan, Development Plan, or other Plan.

SECTION 700.4 TABLES, MAPS, PHOTOGRAPHS, IMAGES, ILLUSTRATIONS, FIGURES, GRAPHICS, DIAGRAMS & DEPICTIONS.

1. Maps and the standards and requirements of Tables herein are an integral part of this Character-Based Code.
2. The diagrams, photographs and illustrations in **Table 720.2.1 (District Standards)**, **Table 720.5.1 (Private Frontage Types)**, **Table 720.5.7-A (Building Types - Summary)**, **Table 720.5.7-B (Building Types - Specific Standards)**, **Table 720.12.2.A (Civic Space Types - Summary)**, and **Table 720.12.2.B (Civic Space - Specific Standards)** are provided only to indicate the general character or placement of and/or reference to the various Character Districts, Special Districts, and Civic Spaces, and elements thereof as shown thereon, and they shall have regulatory force and effect only to that extent.
3. The illustrations in **Table 720.10.1-A (Private Lighting Types)** and **Table 720.10.1-B (Public Lighting Types)** are provided only as an approximation of the various Public Lighting Types and Private Lighting

Types and they shall have regulatory force and effect only to that extent.

4. All graphical and tabular depictions entitled "Illustration" or "Figure", or denoted as "illustrative" are provided for illustrative, explanatory purposes only and are not regulatory.
5. Where in conflict, numerical metrics shall take precedence over graphic metrics.

SECTION 700.5 DEFINITIONS.

Capitalized terms used throughout this Character-Based Code may be defined in Section 740 and elsewhere in this Character-Based Code and other parts of the City Zoning Ordinance. Such definitions are integral to this Character-Based Code. Terms not so defined shall be accorded the meaning given to such terms in Merriam-Webster's College Dictionary, and other resources commonly used in the fields of Planning, Urban Design, and Architecture. In the event of conflicts between the definitions in this Character-Based Code and other definitions of the City Zoning Ordinance, those of this Character-Based Code shall take precedence.

SECTION 700.6 PREPARATION AND ADOPTION OF REGULATING PLANS.

700.6.1 Initial Regulating Plan and Amendments.

An initial Regulating Plan for each area to be regulated by this Character-Based Code shall be prepared by or on behalf of the City, and shall be submitted, reviewed, and acted upon as a zoning map amendment. This Character-Based Code shall be effective with respect to such areas of the City when and for which a Regulating Plan has been adopted.

SECTION 700: GENERAL

Additional Regulating Plans and amendments to Regulating Plans may be prepared, submitted and acted upon as zoning map amendments.

700.6.2 Contents of Regulating Plan.

In addition to all other items required for a zoning map amendment, each Regulating Plan and each amendment thereto shall reflect for the area to be regulated thereby:

1. existing zoning districts and proposed Character Districts, and any Special Districts;
2. proposed Thoroughfares, existing Thoroughfares, and any proposed changes to existing Thoroughfares; and
3. any existing and proposed applicable Special Requirements, as described in Section 700.6.3 below.

Unless prepared by or on behalf of the City, each Regulating Plan and each Regulating Plan amendment shall include a concept plan, which generally describes and shows any Development, re-Development, land, construction, re-construction, modifications, Structures, Improvements, Buildings and Lots contemplated or to be proposed.

700.6.3 Special Requirements.

A Regulating Plan may designate any of the Special Requirements listed in below. If a Regulating Plan designates any one or more of such Special Requirements, such designation indicates that the following standards shall be applied as follows:

1. A Shopfront Frontage designation, which requires that each Private Frontage within the designated area be provided a Shopfront Frontage at Sidewalk level, except at any allowed Driveways or Streetscreen areas, as provided in **Table 720.5.1 (Private Frontage Types)** and specified in this Character-Based Code.
2. A Terminated Vista designation, which requires

that a Building be provided with a cupola, chimney, entry feature or habitable tower that intersects the centerline axis of the view to which they respond.

3. A Cross Block Passage designation, which requires that a minimum 10-foot-wide pedestrian access be reserved between Buildings.
4. A Special Height Range designation, which provides that Buildings within the designated area comply with the Building Height noted, rather than the Building Height standard that otherwise would be applicable within the District.
5. A Residential Use Restriction, which prohibits Uses categorized as Residential Uses within the ground floor of Buildings within the designated area, irrespective of whether Residential/ Dwelling Use would otherwise be permitted within the applicable District.
6. A Residential Use Only designation, which requires that the only Principal Uses that are allowed within the designated area are Uses categorized as Residential Use in **Table 720.7.1 (Permitted Principal Uses)**, irrespective of whether other Principal Uses would otherwise be permitted within the applicable District.
7. A Retail Use Only designation, which requires that each Private Frontage within the designated area be provided a Shopfront Frontage at Sidewalk level, except at any allowed Driveways or Streetscreen areas, as provided in **Table 720.5.1 (Private Frontage Types)** and that the ground level be available only for Retail Use.

SECTION 700.7 REGULATING PLAN AMENDMENT.

Each Regulating Plan in effect from time to time, may be amended by a zoning map amendment upon initiative of the City or upon application of the Owner of the parcel for which a zoning change is proposed.

SECTION 700.8 DETERMINATION OF STANDARDS.

The Governing Body has established the standards in this Character-Based Code and, upon approval of a Regulating Plan for an area, will have made such standards applicable to such area.

SECTION 700.9 APPLICATIONS.

700.9.1 Regulating Plans & Amendments.

Applications for approval of a proposed Regulating Plan, a Regulating Plan amendment, or a Site Plan, Development Plan, Subdivision Plat, or other Plan that would require or proposes any change in the District designation of any property subject to this Character-Based Code shall necessitate processing, review, consideration and/or action with respect to such change in designation as a zoning map amendment under the City Zoning Ordinance.

700.9.2 Site Plans, Development Plans and Subdivision Plats.

No Development, re-Development, Improvement, subdivision, re-subdivision, construction, re-construction, or modification of or on any Building, Lot or other parcel of land subject to this Character-Based Code shall occur in the absence of an approved Site Plan, Development Plan, or Subdivision Plat evidencing compliance this Character-Based Code.

Any Site Plan, Development Plan, Subdivision Plat, or other Plan required or filed under the City Zoning Ordinance or City Development Regulations shall include, in addition to all any other required items and information, the applicable items listed in Section 700.12.2.

In addition to satisfaction of all other applicable Building Permit or Development Permit requirements, no such permit may be issued in the absence of a determination

by the issuing authority that a Site Plan, Development Plan, Subdivision Plat, or other Plan complying with all applicable standards and requirements of this Character-Based Code, the applicable Regulating Plan, and any other applicable Site Plan, Development Plan, Subdivision Plat, or other Plan has been approved by the applicable Decision-Making Authority.

SECTION 700.10 PLANS.

700.10.1 Plan Required.

Except for legal non-conformities, no Building shall be constructed, re-constructed, modified or exist, no Lot shall be Developed, Improved, subdivided, re-subdivided, or exist, no land shall be Developed, and no Site Plan, Development Plan, Subdivision Plat, or other Plan shall be approved or Building Permit or Development Permit issued except in compliance with this Article, the applicable approved Regulating Plan and pursuant to an approved Site Plan, Development Plan, Subdivision Plat, or other Plan, as applicable, for such Building, Lot, and Development, as applicable, which has been prepared, submitted, and approved in accordance with this Article and all standards and requirements applicable thereto.

700.10.2 Preparation and Requirements.

Each Regulating Plan, Site Plan, Development Plan, Subdivision Plat, or other Plan or any amendment thereof, for one or more proposed Buildings, Lots, and/or Development, as applicable, shall be prepared in accordance with, and shall conform to the requirements of this Article.

700.10.3 Plan Submission.

Each Regulating Plan, Site Plan, Development Plan, Subdivision Plat, or other Plan or any amendment thereof, for one or more proposed Buildings, Lots, and/or Development, as applicable, shall be submitted for review and action in accordance with this Article.

SECTION 700: GENERAL

700.10.4 Plan Approval.

Action shall be taken on an application for approval of a Regulating Plan, Site Plan, Development Plan, Subdivision Plat, or other Plan or any amendment thereof, for one or more proposed Buildings, Lots, and/or Development, as applicable, in accordance with this Section 700.

SECTION 700.11 PREPARATION.

Each Site Plan, Development Plan, Subdivision Plat, or other Plan for one or more proposed Buildings, Lots, and/or Development, as applicable, required under this Zoning Ordinance or the City Development Regulations shall be prepared and submitted by or on behalf of the Owner of the applicable property.

SECTION 700.12 PLAN REQUIREMENTS.

Each Site Plan, Development Plan, Subdivision Plat, or other Plan submitted for any Building, Lot, and/or Development located or proposed within an area regulated under this Character-Based Code shall:

700.12.1 Compliance.

Comply with the applicable approved Regulating Plan and any applicable approved Site Plan, Development Plan, Subdivision Plat, or other Plan, as applicable, for such Building, Lot, and/or Development and all standards and requirements of this Character-Based Code applicable to the District in which the land covered by such Site Plan, Development Plan, Subdivision Plat, or other Plan is situated; and

700.12.2 Contents.

Show and include, in addition to all other items required by the City Zoning Ordinance or City Development Regulations, the following, in compliance with the standards and requirements of any applicable approved

Site Plan, Development Plan, Subdivision Plat, or other Plan, the applicable Regulating Plan, and this Character-Based Code for the proposed Buildings, Lots, and/or Development, as applicable:

1. Lot Width
2. Lot Coverage
3. Layers
4. Frontage Buildout
5. Principal Buildings
6. Accessory Buildings, including the habitable area of each, if applicable
7. Setbacks
8. Encroachments
9. Building Type
10. Building Height
11. Private Frontages
12. Facade and each other Building Elevation
13. Building Roof Type & Pitch
14. Principal Uses and Accessory Uses
15. Private Landscaping, including Walls and Fences
16. Private Lighting
17. Vehicular Parking Accommodations, including parking spaces within the Lot, Parking Location, Location of any Garage, Driveway to Off-Street Parking, Passenger Drop-off Location, Driveway/Vehicular Entrance Width, any Parking Structures, Pedestrian Parking Structure Exit Location, and any Parking Screening
18. Loading, Service, Storage, Trash Receptacle, Utility Box, Service Meter, and other equipment accommodations and locations

19. Personal property or fixtures not affixed to a Building, if any

20. Screens and Streetscreens

21. Signage

22. Any applicable Special Requirements elements

23. For any Development Site of ten (10) gross acres or more:

a. any required or proposed Civic Spaces, Civic Buildings and areas to be assigned to District CD-CV;

b. existing zoning Districts, Character Districts and Special Districts and any changes proposed or to be proposed, assigned according to and as required by Section 710.2;

c. Thoroughfares, and each element thereof;

d. Block Perimeter;

e. one or several proposed or existing Standard or Linear Pedestrian Sheds, as applicable, located according to existing or proposed conditions, such as traffic intersections, Adjacent Development, and natural features, and their respective Common Destinations near the center of each. See **Illustration 700.12-A (Standard Pedestrian Shed)** and **Illustration 700.12-B (Linear Pedestrian Shed)**; and

f. Public Landscaping and Public Lighting outside of Public Frontages.

ILLUSTRATION 700.12-A STANDARD PEDESTRIAN SHED

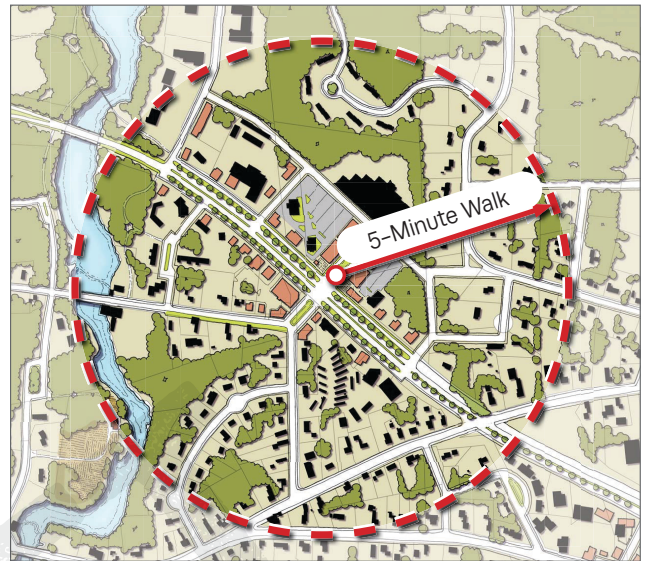
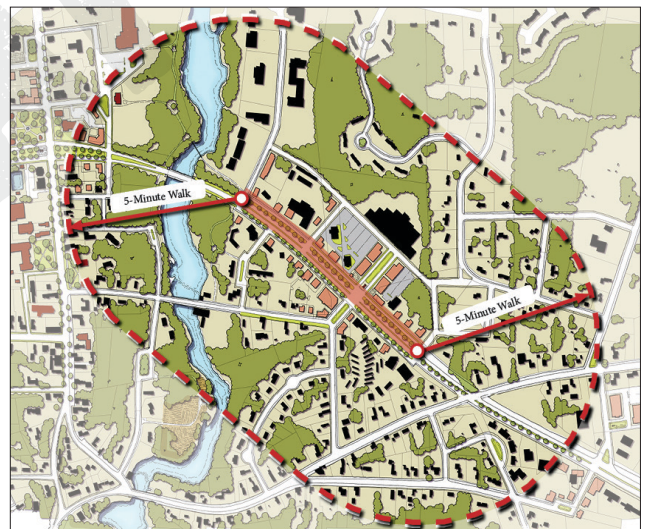


ILLUSTRATION 700.12-B LINEAR PEDESTRIAN SHED



24. For any Development Site of ten (10) gross acres or more, Thoroughfare network laid out according to Section 720.11, complying with all applicable design standards, including existing and any proposed Thoroughfares, any required or proposed new Thoroughfare(s), and any required or proposed extension or change to any existing Thoroughfare(s).

SECTION 710

CHARACTER DISTRICTS & SPECIAL DISTRICTS

SECTION 710.1

GENERAL.

710.1.1 Applicability and Compliance.

This Section 710 applies to Character Districts and Special Districts to the extent provided herein.

Development, re-Development, land, Improvements, construction, re-construction, modification, subdivision, re-subdivision, Structures, Buildings and Lots within each Character District or Special Districts, as applicable, shall include the respective elements and shall comply with the respective standards applicable to each.

710.1.2 Character District Defined.

A Character District is one of several areas on a Regulating Plan to which certain Development, Building, and Lot standards are applied.

710.1.3 Special District Defined.

A Special District is an area on a Regulating Plan to which certain Development, Building, and Lot standards are applied, for which, due to the necessary and intrinsic uses, size, or form of the proposed Development within such area, such Development cannot under any plan, design, or circumstances conform to one or more of the Character Districts described in Section 710.1.4 and the applicable standards therefor.

710.1.4 District Descriptions.

This Character-Based Code provides for the following Districts, each of which is described generally in **Table 720.2.1 (District Standards)**:

1. Character District CD-3 (Neighborhood);
2. Character District CD-4 (Neighborhood Center);
3. Character District CD-5 (Urban Center);
4. Special District SD-M (Mill); and
5. Character District CD-CV (Civic).

SECTION 710.2

ASSIGNMENT OF CHARACTER DISTRICTS & SPECIAL DISTRICTS.

710.2.1 General.

Character Districts and Special Districts shall be assigned for and mapped on a Regulating Plan and any change to such assignment requires a Regulating Plan amendment.

710.2.2 Assignment of Civic Space within CD-CV for Certain Development Sites.

Except for assignment of Civic Space and Character District CD-CV (Civic) on Regulating Plans prepared by or on behalf of the City, each Development Site of ten (10) Gross Acres or more shall include at least 5%, but not more than 20%, of its gross acreage assigned

SECTION 710: CHARACTER DISTRICTS & SPECIAL DISTRICTS

as Civic Space(s), which shall be located within a designated CD-CV (Civic) Character District.

710.2.3 Special Districts.

1. For any Development Site of ten (10) or more gross acres, excluding any Special Districts, an application for approval of a proposed Regulating Plan or Zoning Map Amendment or any proposed Development not initiated and prepared by the City, may request approval of a Special District only if, due to the necessary and intrinsic Uses, size, or form, the proposed Development cannot under any plan, design, or circumstances conform to one (1) or more of Districts CD-3, CD-4, or CD-5 and the applicable standards therefor. A request for approval of a Special District must contain proposed standards to be applicable within the Special District, which would, if approved, become an integral part of this Article.
2. Special Districts shall not be proposed or used to avoid, or have the effect of avoiding, compliance with, the standards and requirements of this Article for Character Districts, and instead, shall be used sparingly and only in exceptional situations.
3. Approval, establishment, and assignment of a Special District shall be subject to approval as a zoning text approval and zoning map amendment.

SECTION 710.3 ELEMENTS AND STANDARDS.

Development, re-Development, land, Structures, Buildings, Improvements, and Lots within each District shall include the elements indicated for such District throughout this Character-Based Code and shall comply with the applicable District general description and intent thereof and the standards applicable to such District set forth in **Table 720.2.1 (District Standards)** and elsewhere in this Character-Based Code.

SECTION 720

STANDARDS & REQUIREMENTS

SECTION 720.1

GENERAL.

Development, re-Development, Lots, Buildings, Structures, and Improvements within Districts shall comply with the applicable standards and requirements referred to in Section 720.2.

SECTION 720.2

DISTRICT STANDARDS.

720.2.1 Districts.

Districts standards are set forth in **Table 720.2.1 (District Standards)** and elsewhere in this Article VII.

**REMAINDER OF THIS PAGE
INTENTIONALLY LEFT
BLANK**

DRAFT

**THIS PAGE INTENTIONALLY
LEFT BLANK**

SECTION 720

SECTION 720: STANDARDS & REQUIREMENTS

CD-3

TABLE 720.2.1 DISTRICT STANDARDS:
NEIGHBORHOOD CHARACTER DISTRICT



General Description

The CD-3 Neighborhood District consists of primarily a low density single-family detached Residential area in which Houses are the predominant Building Type. It has medium to deep front Setbacks and medium to wide side Setbacks. Its Thoroughfares have Curbs and may include Sidewalks and/or street trees, and form medium to large Blocks.

SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.2.1 DISTRICT STANDARDS: NEIGHBORHOOD CHARACTER DISTRICT **CD-3**

Block Size*

*As Applicable to Development Sites \geq 10 Acres or as Otherwise Included in a Plan.

Block Perimeter 3,000 ft. max

Private Frontage Types

Common Yard	P	Stepfront	NP
Porch	P	Shopfront	NP
Fence	P	Gallery	NP
Terrace/Lightwell	NP	Arcade	NP
Forecourt	NP	Dooryard	NP
Stoop	NP	Commercial front	NP

See **Table 720.5.1 (Private Frontage Types)**

Civic Space Types*

*As Applicable to Development Sites \geq 10 Acres or as Otherwise Included in a Plan.

Natural Area	NP	Playground	P
Green	P	Sports Field or Court	P
Square	NP	Community Garden	P
Plaza	NP	Pocket Park	P

See **Table 720.12.2.A (Civic Space Types - Summary)** and **Table 720.12.2.B (Civic Space - Specific Standards)**

Permitted Uses

See **Table 720.7.1 (Permitted Principal Uses)**, **Table 720.7.2 (Permitted Accessory Uses)**, and **Table 720.7.3 (Permitted Temporary Uses)**

Number of Buildings

Principal Building	1 max
Accessory Buildings	3 max

LEGEND

The following notations are utilized in this table.

P Permitted

NP Not Permitted

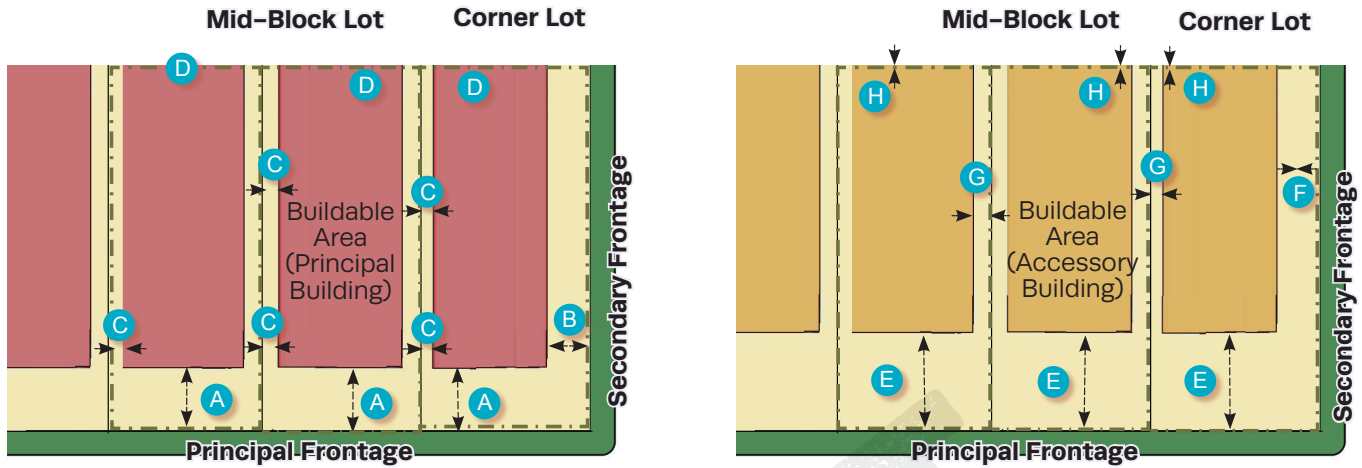
NA Not Applicable

R Required

NR Not Regulated

SECTION 720: STANDARDS & REQUIREMENTS

CD-3 TABLE 720.2.1 DISTRICT STANDARDS:
NEIGHBORHOOD CHARACTER DISTRICT



Lot Occupation

Lot Width 50 ft. min., 100 ft. max.

Lot Coverage 40% max.

Lot Enfrontment Must Enfront a vehicular Thoroughfare, except that if Lots have legal and physical access to a vehicular Thoroughfare via a Driveway or Easement such Lots may Enfront a Civic Space, Pedestrian Path, or a Passage.

Setbacks

Principal Building

Front Setback, Principal Frontage	24 ft. min.	A
Front Setback, Secondary Frontage	24 ft. min.	B
Side Setback, each side	5 ft. min.	C
Rear Setback	12 ft. min.	D

Accessory Building

Front Setback, Principal Frontage	20 ft. min. + Principal Building Front Setback	E
Front Setback, Secondary Frontage	20 ft. min. + Principal Building Front Setback	F
Side Setback, each side	5 ft. min.	G
Rear Setback	3 ft. min.	H

LEGEND

The following notations are utilized in this table.

P Permitted

NP Not Permitted

NA Not Applicable

R Required

NR Not Regulated

SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.2.1 DISTRICT STANDARDS: NEIGHBORHOOD CHARACTER DISTRICT **CD-3**

Encroachments – Required Setbacks

Encroachment Type	Front	Side	Rear
Steps to Building Entrance	P up to 50% of Setback	P	P
Open Porches, including steps	P up to 50% of Setback	P	P
Patios and Decks, if permitted in applicable Layer	NP	P	P
Openwork Fire Balconies	NP	P	P
Chimney flues, sills, belt courses, cornices, buttresses eaves and other Architectural Features	P	P	P
Satellite dishes / antennae	P	P	P
Mechanical equipment, including HVAC	NP	P	P
Utility lines, wires and associated structures (e.g. poles)	P	P	P
Fences, hedges, walls, Shrubbery, and other landscape features	P	P	P
Parking Areas, Loading Areas and Driveways in 3rd Layer	NP	P	P
Stoops, Lightwells, Terraces	P up to 50% of Setback	P	P
Balconies and Bay Windows	P	P	P

Building Standards

Building Height*

Principal Building	2 Stories max.
Accessory Building	2 Stories max.; Not to exceed Height of Principal Building

*Stories do not include Attics and basements

Ceiling Height

Height may not exceed 14 ft. in height from finished floor to finished ceiling.

Facade

Frontage Buildout	40% min
Entrances/Active Functions	Main Entrance must be in Facade of Principal Frontages.

LEGEND The following notations are utilized in this table.	P Permitted	NP Not Permitted	NA Not Applicable	R Required	NR Not Regulated
--	--------------------	-------------------------	--------------------------	-------------------	-------------------------

SECTION 720: STANDARDS & REQUIREMENTS

CD-3 TABLE 720.2.1 DISTRICT STANDARDS:
NEIGHBORHOOD CHARACTER DISTRICT

Building Standards (continued)	
Location of Building at Frontage	Parallel to Frontage Lines
Facade Position	Parallel to straight Frontage Line or to tangent of curved Frontage Line
Blank Walls	NP at Frontage
Facade Openings	Windows and/or doors spaced ≤ 20 ft. apart Square or vertical in proportion Windows in Facade and 1st & 2nd Layers must be single-hung, double-hung, casement or awning types. In Stories above first, Facade openings must be ≤ 50% of total Facade area
Facade Glazing	20% min – 60% max
Window Alignment	Upper floor windows and other features must be aligned with those of first floor.
Facade Articulation	NA
Finished Floor Level	2 ft. – 6 ft. above avg. grade at Frontage Line
Facade Window Sill Height	3 ft. min above avg. grade at Frontage Line
Shopfront Frontages	NA
Facade Variety	No Facade may exist more than once on a Block Face or within view of the same Facade
Decks	NP at Frontage
Roof Type & Roof Pitch	
Flat	NP
Shed	P at rear only and if ridge is attached to an exterior Building wall
Hip	P
Gable	P
Pitch, if any	8:12 – 14:12, except for shed roofs which may be 3:12 – 14:12

LEGEND The following notations are utilized in this table.	P Permitted	NP Not Permitted	NA Not Applicable	R Required	NR Not Regulated
--	--------------------	-------------------------	--------------------------	-------------------	-------------------------

SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.2.1 DISTRICT STANDARDS: NEIGHBORHOOD CHARACTER DISTRICT **CD-3**

Building Types			
Cottage	P	Live/Work	NP
House	P	Commercial	NP
Duplex	P	Mixed Use	NP
Townhouse	NP	Flex	NP
Small Multifamily	NP	Mid-Rise	NP
Large Multifamily	NP	Civic	P

See **Table 720.5.7-A (Building Types - Summary)** and **Table 720.5.7-B (Building Types - Specific Standards)**

Vehicular Parking Requirements	
Required Vehicular Parking	See Section 720.8
Off-Street Parking Location	P in 3rd Layer only; NP in 1st Layer
Garage Location	P in 3rd Layer only; NP in 1st Layer
Driveway to Off-Street Parking & Passenger Drop-off Location	P in any Layer
Driveway/Vehicular Entrance Maximum Width	10 ft max in 1st Layer if Residential; 24 ft max in 1st Layer if non-Residential
Parking Structures	NP
Parking Structure Pedestrian Exit Location	NA

Off-Street Loading, Storage, Trash Receptacle, Utility Box & Service Meter Requirements	
Off-Street Loading Space	R sufficient space, with adequate off-street maneuvering area, to accommodate max # of trucks loading, unloading, or standing at any one time for all Principal Uses of Lot; not to Encroach on any required Parking
Off-Street Trash Receptacle	Except for single family Residential, R fully enclosed on 3 sides and enclosed on the 4th side with self-closing gate. In single family Residential, P in 3rd Layer only
Off-Street Loading, Trash Receptacle, Utility Box & Service Meter Locations	P in 3rd Layer only; NP in 1st Layer

LEGEND The following notations are utilized in this table.	P Permitted	NP Not Permitted	NA Not Applicable	R Required	NR Not Regulated
--	--------------------	-------------------------	--------------------------	-------------------	-------------------------

SECTION 720

SECTION 720: STANDARDS & REQUIREMENTS

CD-3 TABLE 720.2.1 DISTRICT STANDARDS: NEIGHBORHOOD CHARACTER DISTRICT

Thoroughfares* **As Applicable to Development Sites ≥ 10 Acres or as Otherwise Included in a Plan.*

See Section 720.11 (Thoroughfares & Alleys) for additional requirements.

Non-Building Components

	1st Layer	2nd Layer	3rd Layer
Clothes Drying Apparatus	NP	NP	P
Heating and Air Conditioning Equipment, Utility, Service and Mechanical Equipment	NP	P in 2nd Layer if Screened from Frontage	P
Solar Panels	P in 1st or 2nd Layer if parallel to and integrated into roof design.		P
Antennas & Satellite Equipment less than or equal to 18" in diameter	P in 1st or 2nd Layer if such Layer is only location possible for satisfactory reception, as set forth by the FCC.		P
Outdoor Grilling Equipment	NP	NP	P
Recreation or Play Equipment	NP	NP	P
Animal Enclosures or Shelters	NP	NP	P
Swimming Pools, Hot Tubs and Spas	NP	NP	P

Signs

See **Table 730.2-1 (Sign Types - Summary)** and **Table 730.2-2 (Sign Types - Specific Standards)**

LEGEND The following notations are utilized in this table.	P Permitted	NP Not Permitted	NA Not Applicable	R Required	NR Not Regulated
--	--------------------	-------------------------	--------------------------	-------------------	-------------------------

SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.2.1 DISTRICT STANDARDS: NEIGHBORHOOD CHARACTER DISTRICT **CD-3**

Private Landscaping and Fencing

Landscaping

R; 2 trees per 50 feet of Frontage if front Setback \geq 15 ft, planted in 1st Layer, minimum of 30% of 1st Layer must be landscaped

Walls & Fencing (not including Screens)

Height	3.5–4 ft. at Frontage; otherwise 6 ft. max; height measured from avg. undisturbed grade of Adjacent property at property line
Construction	Finished side must face Adjacent property, Thoroughfare, Path, Passage or waterbody
Maintenance	Must be well-maintained, in upright condition and free of missing or broken parts.
Allowed Materials	

Natural Wood	P Only picket type allowed at Frontage; other types allowed on sides and rear	Chain Link	P at rear sides only
Brick, Natural Stone or Stucco over Masonry	P	Barbed/razor/concertina wire	P at rear only and if Screened from Thoroughfares and Adjacent property
Wrought Iron or Aluminum	P	Exposed or painted aggregate concrete	NP
Vinyl	NP	Smooth or split-faced block	NP

SECTION 720

LEGEND The following notations are utilized in this table.	P Permitted	NP Not Permitted	NA Not Applicable	R Required	NR Not Regulated
--	--------------------	-------------------------	--------------------------	-------------------	-------------------------

SECTION 720: STANDARDS & REQUIREMENTS

CD-3 TABLE 720.2.1 DISTRICT STANDARDS:
NEIGHBORHOOD CHARACTER DISTRICT

Screens & Streetscreens		
Height		
	At Frontage or Adjacent to Civic Space	Not at Frontage or Adjacent to Civic Space
Wall Screen/Streetscreen Height	3.5 ft. to 4 ft.	5 ft. to 6 ft; Min 6 ft. for Dumpsters and trash receptacles
Fence Screen/Streetscreen Height	3.5 ft. to 4 ft.	5 ft. to 6 ft; Min 6 ft. for Dumpsters and trash receptacles
Hedge Screen/Streetscreen Height	3.5 ft. to 4 ft. at installation	5 ft. to 6 ft. at installation
Materials		
Wall Screen or Streetscreen	Brick, natural Stone or Stucco over Masonry	
Fence Screen or Streetscreen	Natural Wood, painted or unpainted	
Hedge Screen or Streetscreen	Evergreen plants with min. 80% opacity	
Additional Standards		
Non-Residential & Multi-Family Residential Screen/Streetscreen Adjacent to or across Thoroughfare from Non-Multi-Family Residential	NR	
Screening of Parking, Loading Areas, Service Areas, Outdoor Storage, Trash Receptacles/ Dumpsters, HVAC and other equipment Screened from Frontage, Civic Space and Adjacent Property	R ; except at Driveways. Parking Lots and Parking Areas must be Screened from Frontage and Civic Space by Building or Streetscreen; or by Building, Wall, hedge or Fence not at Frontages or Adjacent to Civic Space.	
Rooftop Antenna Screening	R	
HVAC, Mechanical and other Equipment Screening	R ; must be Screened from Frontage and Civic Space by Building parapet or other Building Element	
Streetscreen Location	2nd Layer	

LEGEND The following notations are utilized in this table.	P Permitted	NP Not Permitted	NA Not Applicable	R Required	NR Not Regulated

SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.2.1 DISTRICT STANDARDS:
NEIGHBORHOOD CHARACTER DISTRICT **CD-3**

**THIS PAGE INTENTIONALLY
LEFT BLANK**

DRAFT

SECTION 720

SECTION 720: STANDARDS & REQUIREMENTS

CD-4 TABLE 720.2.1 DISTRICT STANDARDS:
NEIGHBORHOOD CENTER CHARACTER DISTRICT



General Description

The CD-4 Neighborhood Center District consists of a medium intensity area that has a mix of Building Types and Residential, Retail, Office and other Commercial Uses; there are medium or shallow front Setbacks and no minimum side Setbacks; it has variable private landscaping; and it has Thoroughfares with Curbs, Sidewalks, and trees that define medium-sized Blocks.

SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.2.1 DISTRICT STANDARDS: NEIGHBORHOOD CENTER CHARACTER DISTRICT **CD-4**

Block Size*

*As Applicable to Development Sites \geq 10 Acres or as Otherwise Included in a Plan.

Block Perimeter 2,400 ft. max.

Private Frontage Types

Common Yard	P	Stepfront	P
Porch	P	Shopfront	P
Fence	P	Gallery	P
Terrace/Lightwell	P	Arcade	NP
Forecourt	P	Dooryard	P
Stoop	P	Commercial front	P

See **Table 720.5.1 (Private Frontage Types)**

Civic Space Types*

*As Applicable to Development Sites \geq 10 Acres or as Otherwise Included in a Plan.

Natural Area	NP	Playground	P
Green	P	Sports Field or Court	NP
Square	P	Community Garden	P
Plaza	P	Pocket Park	P

See **Table 720.12.2.A (Civic Space Types – Summary)** and **Table 720.12.2.B (Civic Space – Specific Standards)**

Permitted Uses

See **Table 720.7.1 (Permitted Principal Uses)**, **Table 720.7.2 (Permitted Accessory Uses)**, and **Table 720.7.3 (Permitted Temporary Uses)**

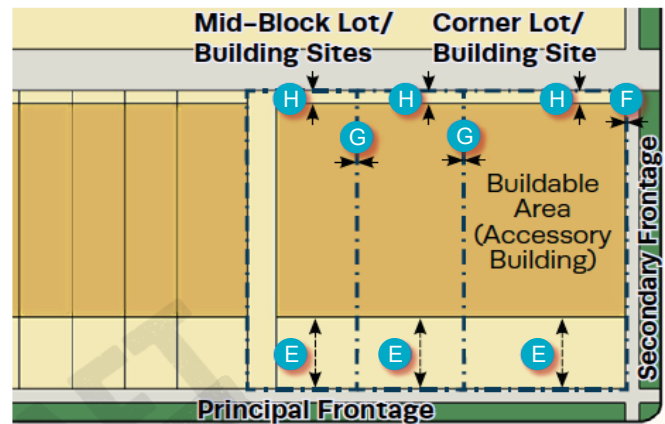
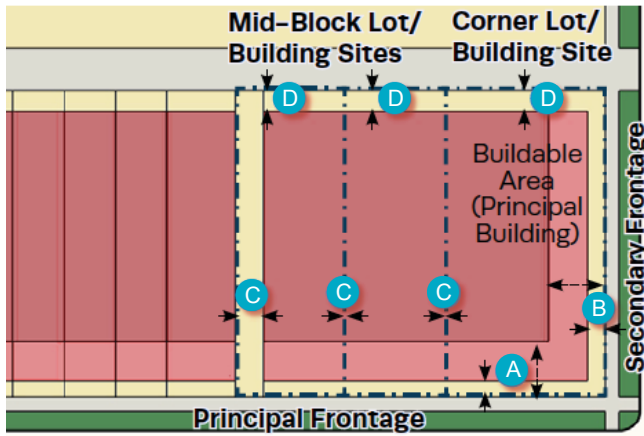
Number of Buildings

Principal Building	1 max
Accessory Buildings	1 max

LEGEND The following notations are utilized in this table.	P Permitted	NP Not Permitted	NA Not Applicable	R Required	NR Not Regulated
--	--------------------	-------------------------	--------------------------	-------------------	-------------------------

SECTION 720: STANDARDS & REQUIREMENTS

CD-4 TABLE 720.2.1 DISTRICT STANDARDS:
NEIGHBORHOOD CENTER CHARACTER DISTRICT



Lot Occupation

Lot Width	18 ft. min; 96 ft. max
Lot Coverage	85% max
Lot Enfrontment	Must Enfront a vehicular Thoroughfare, except that if Lots have legal and physical access to a vehicular Thoroughfare via a Driveway or Easement such Lots may Enfront a Civic Space, Pedestrian Path, or a Passage.

Setbacks

Principal Building		Accessory Building	
Front Setback, Principal Frontage	6 ft. min., 12 ft. max. A	Front Setback, Principal Frontage	20 ft. min. + Principal Building Front Setback E
Front Setback, Secondary Frontage	6 ft. min., 12 ft. max. B	Front Setback, Secondary Frontage	20 ft. min. + Principal Building Front Setback F
Side Setback, each side	0 ft. min. C	Side Setback, each side	0 ft. min. G
Rear Setback	3 ft. min. D	Rear Setback	3 ft. min. H

LEGEND The following notations are utilized in this table.	P Permitted	NP Not Permitted	NA Not Applicable	R Required	NR Not Regulated
--	--------------------	-------------------------	--------------------------	-------------------	-------------------------

SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.2.1 DISTRICT STANDARDS: NEIGHBORHOOD CENTER CHARACTER DISTRICT **CD-4**

Encroachments – Required Setbacks

Encroachment Type	Front	Side	Rear
Steps to Building Entrance	P up to 50% of Setback	P	P
Open Porches, including steps	P up to 50% of Setback	P	P
Patios and Decks, if permitted in applicable Layer	NP	P	P
Openwork Fire Balconies	NP	P	P
Chimney flues, sills, belt courses, cornices, buttresses eaves and other Architectural Features	P	P	P
Satellite dishes / antennae	P	P	P
Mechanical equipment, including HVAC	NP	P	P
Utility lines, wires and associated structures (e.g. poles)	P	P	P
Fences, hedges, walls, Shrubbery, and other landscape features	P	P	P
Parking Areas, Loading Areas and Driveways in 3rd Layer	NP	P	P
Stoops, Lightwells, Terraces	P up to 50% of Setback	P	P
Balconies and Bay Windows	P	P	P

Building Standards

Building Height*

Principal Building	2 Stories min., 4 Stories max.; except 1 Story min., 3 Stories max. for Cottage, House, & Duplex Building Types
Accessory Building	2 Stories max.; Not to exceed Height of Principal Building

*Stories do not include Attics and basements

Ceiling Height

Height may not exceed 14 ft. from finished floor to finished ceiling, except for a first floor Commercial function which must be a minimum of 11 ft with a maximum of 25 ft.

Facade

Frontage Buildout	60% min
Entrances/Active Functions	Main Entrance must be in Facade of Principal Frontages. If Shopfront Frontage at corner, Main Entrance may be at Principal Frontage or at corner.

LEGEND	P Permitted	NP Not Permitted	NA Not Applicable	R Required	NR Not Regulated
The following notations are utilized in this table.					

SECTION 720: STANDARDS & REQUIREMENTS

CD-4 TABLE 720.2.1 DISTRICT STANDARDS:
NEIGHBORHOOD CENTER CHARACTER DISTRICT

Building Standards (continued)	
Location of Building at Frontage	Parallel to Frontage Lines
Facade Position	Parallel to straight Frontage Line or to tangent of curved Frontage Line
Blank Walls	NP at Frontage
Facade Openings	Windows and/or doors spaced ≤ 20 ft. apart Square or vertical in proportion Except in Shopfront or Gallery Frontage, Windows in Facade and 1st & 2nd Layers must be single-hung, double-hung, casement or awning types. In Stories above first, Facade openings must be ≤ 50% of total Facade area
Facade Glazing	20% min – 70% max for non-Shopfront; 70% min for Shopfront of total Facade area
Window Alignment	Upper floor windows and other features must be aligned with those of first floor.
Facade Articulation	NA
Finished Floor Level	If Residential: 2 ft. – 6 ft. above avg. grade at Frontage Line
Facade Window Sill Height	If Residential: 3 ft. min above avg. grade at Frontage Line Shopfront Frontages: at knee wall
Shopfront Frontages	12" – 24" knee wall required at Frontage
Facade Variety	No Facade may exist more than once on a Block Face or within view of the same Facade
Decks	NP at Frontage
Roof Type & Roof Pitch	
Flat	P ; Parapet wall R for non-Residential Buildings
Shed	P at rear only and if ridge is attached to an exterior Building wall
Hip	P
Gable	P
Pitch, if any	8:12 – 14:12, except for shed roofs which may be 3:12 – 14:12

LEGEND The following notations are utilized in this table.	P Permitted	NP Not Permitted	NA Not Applicable	R Required	NR Not Regulated
--	--------------------	-------------------------	--------------------------	-------------------	-------------------------

SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.2.1 DISTRICT STANDARDS: NEIGHBORHOOD CENTER CHARACTER DISTRICT **CD-4**

Building Types

Cottage	P	Live/Work	P
House	P	Commercial	P
Duplex	P	Mixed Use	P
Townhouse	P	Flex	P
Small Multifamily	P	Mid-Rise	NP
Large Multifamily	NP	Civic	P

See **Table 720.5.7-A (Building Types – Summary)** and **Table 720.5.7-B (Building Types – Specific Standards)**

Vehicular Parking Requirements

Required Vehicular Parking	See Section 720.8
Off-Street Parking Location	P in 3rd Layer only; NP in 1st Layer
Garage Location	P in 3rd Layer only; NP in 1st Layer
Driveway to Off-Street Parking & Passenger Drop-off Location	P in any Layer
Driveway/Vehicular Entrance Maximum Width	10 ft max in 1st Layer if Residential; 24 ft max in 1st Layer if non-Residential
Parking Structures	P subject to requirements of Section 720.8
Parking Structure Pedestrian Exit Location	Via pedestrian access to Frontage

Off-Street Loading, Storage, Trash Receptacle, Utility Box & Service Meter Requirements

Off-Street Loading Space	R sufficient space, with adequate off-street maneuvering area, to accommodate max # of trucks loading, unloading, or standing at any one time for all Principal Uses of Lot; not to Encroach on any required Parking
Off-Street Trash Receptacle	Except for single family Residential, R fully enclosed on 3 sides and enclosed on the 4th side with self-closing gate. In single family Residential, P in 3rd Layer only
Off-Street Loading, Trash Receptacle, Utility Box & Service Meter Locations	P in 3rd Layer only; NP in 1st Layer

Thoroughfares* **As Applicable to Development Sites ≥ 10 Acres or as Otherwise Included in a Plan.*

See **Section 720.11 (Thoroughfares & Alleys)** for additional requirements.

LEGEND The following notations are utilized in this table.	P Permitted	NP Not Permitted	NA Not Applicable	R Required	NR Not Regulated
--	--------------------	-------------------------	--------------------------	-------------------	-------------------------

SECTION 720

SECTION 720: STANDARDS & REQUIREMENTS

CD-4 TABLE 720.2.1 DISTRICT STANDARDS:
NEIGHBORHOOD CENTER CHARACTER DISTRICT

Non-Building Components			
	1st Layer	2nd Layer	3rd Layer
Clothes Drying Apparatus	NP	NP	P
Heating and Air Conditioning Equipment, Utility, Service and Mechanical Equipment	NP	P in 2nd Layer if Screened from Frontage	P
Solar Panels	P in 1st or 2nd Layer if parallel to and integrated into roof design.		P
Antennas & Satellite Equipment less than or equal to 18" in diameter	P in 1st or 2nd Layer if such Layer is only location possible for satisfactory reception, as set forth by the FCC.		P
Outdoor Grilling Equipment	NP	NP	P
Recreation or Play Equipment	NP	NP	P
Animal Enclosures or Shelters	NP	NP	P
Swimming Pools, Hot Tubs and Spas	NP	NP	P

Signs

See **Table 730.2-1 (Sign Types – Summary)** and **Table 730.2-2 (Sign Types – Specific Standards)**

LEGEND The following notations are utilized in this table.	P Permitted	NP Not Permitted	NA Not Applicable	R Required	NR Not Regulated

SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.2.1 DISTRICT STANDARDS: NEIGHBORHOOD CENTER CHARACTER DISTRICT **CD-4**

Private Landscaping and Fencing

Landscaping

NR

Walls & Fencing (not including Screens)

Height	3.5–4 ft. at Frontage; otherwise 6 ft. max; height measured from avg. undisturbed grade of Adjacent property at property line
Construction	Finished side must face Adjacent property, Thoroughfare, Path, Passage or waterbody
Maintenance	Must be well-maintained, in upright condition and free of missing or broken parts.

Allowed Materials

Natural Wood	P Only picket type allowed at Frontage; other types allowed on sides and rear	Chain Link	P at rear sides only
Brick, Natural Stone or Stucco over Masonry	P	Barbed/razor/concertina wire	P at rear only and if Screened from Thoroughfares and Adjacent property
Wrought Iron or Aluminum	P	Exposed or painted aggregate concrete	NP
Vinyl	NP	Smooth or split-faced block	NP

SECTION 720

LEGEND The following notations are utilized in this table.	P Permitted	NP Not Permitted	NA Not Applicable	R Required	NR Not Regulated
--	--------------------	-------------------------	--------------------------	-------------------	-------------------------

SECTION 720: STANDARDS & REQUIREMENTS

CD-4 TABLE 720.2.1 DISTRICT STANDARDS:
NEIGHBORHOOD CENTER CHARACTER DISTRICT

Screens & Streetscreens		
Height		
	At Frontage or Adjacent to Civic Space	Not at Frontage or Adjacent to Civic Space
Wall Screen/Streetscreen Height	3.5 ft. to 4 ft.	5 ft. to 6 ft; Min 6 ft. for Dumpsters and trash receptacles
Fence Screen/Streetscreen Height	3.5 ft. to 4 ft.	5 ft. to 6 ft; Min 6 ft. for Dumpsters and trash receptacles
Hedge Screen/Streetscreen Height	3.5 ft. to 4 ft. at installation	5 ft. to 6 ft. at installation
Materials		
Wall Screen or Streetscreen	Brick, natural Stone or Stucco over Masonry	
Fence Screen or Streetscreen	Natural Wood, painted or unpainted	
Hedge Screen or Streetscreen	Evergreen plants with min. 80% opacity	
Additional Standards		
Non-Residential & Multi-Family Residential Screen/Streetscreen Adjacent to or across Thoroughfare from Non-Multi-Family Residential	NR	
Screening of Parking, Loading Areas, Service Areas, Outdoor Storage, Trash Receptacles/ Dumpsters, HVAC and other equipment Screened from Frontage, Civic Space and Adjacent Property	R; except at Driveways. Parking Lots and Parking Areas must be Screened from Frontage and Civic Space by Building or Streetscreen; or by Building, Wall, hedge or Fence not at Frontages or Adjacent to Civic Space.	
Rooftop Antenna Screening	R	
HVAC, Mechanical and other Equipment Screening	R; must be Screened from Frontage and Civic Space by Building parapet or other Building Element	
Streetscreen Location	2nd Layer	

LEGEND The following notations are utilized in this table.	P Permitted	NP Not Permitted	NA Not Applicable	R Required	NR Not Regulated

SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.2.1 DISTRICT STANDARDS: **CD-4**
NEIGHBORHOOD CENTER CHARACTER DISTRICT

**THIS PAGE INTENTIONALLY
LEFT BLANK**

DRAFT

SECTION 720

SECTION 720: STANDARDS & REQUIREMENTS

CD-5 TABLE 720.2.1 DISTRICT STANDARDS: URBAN CENTER CHARACTER DISTRICT



General Description

The CD-5 Urban Center Character District consists of higher density Mixed Use areas. It has a tight network of Thoroughfares with side Sidewalks, street lights and regular tree spacing, defining medium-sized Blocks. Buildings are set close to the Sidewalks.

SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.2.1 DISTRICT STANDARDS: **CD-5**
URBAN CENTER CHARACTER DISTRICT

Block Size*

*As Applicable to Development Sites \geq 10 Acres or as Otherwise Included in a Plan.

Block Perimeter 2,000 ft. max., or 3,000 ft. max. if Parking Structure provided within Block

Private Frontage Types

Common Yard	NP	Stepfront	P
Porch	NP	Shopfront	P
Fence	NP	Gallery	P
Terrace/Lightwell	P	Arcade	P
Forecourt	P	Dooryard	P
Stoop	P	Commercial front	P

See **Table 720.5.1 (Private Frontage Types)**

Civic Space Types*

*As Applicable to Development Sites \geq 10 Acres or as Otherwise Included in a Plan.

Natural Area	NP	Playground	P
Green	P	Sports Field or Court	NP
Square	P	Community Garden	P
Plaza	P	Pocket Park	P

See **Table 720.12.2.A (Civic Space Types - Summary)** and **Table 720.12.2.B (Civic Space - Specific Standards)**

Permitted Uses

See **Table 720.7.1 (Permitted Principal Uses)**, **Table 720.7.2 (Permitted Accessory Uses)**, and **Table 720.7.3 (Permitted Temporary Uses)**

Number of Buildings

Principal Building	1 max
Accessory Buildings	1 max

LEGEND

The following notations are utilized in this table.

P Permitted

NP Not Permitted

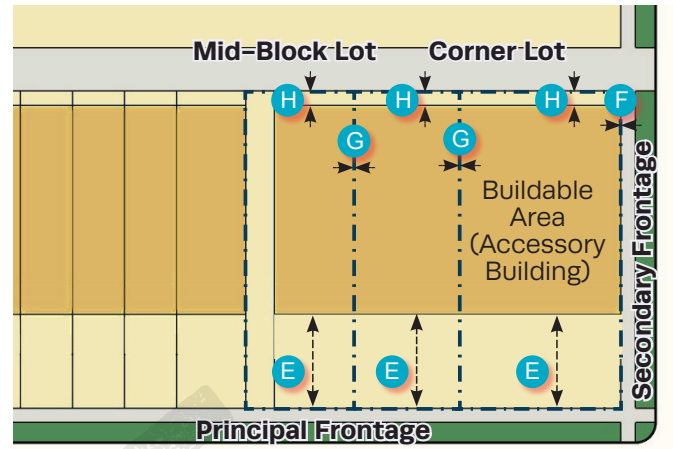
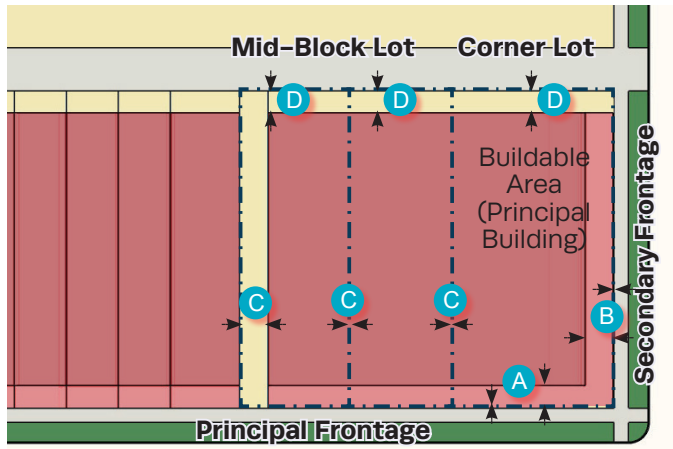
NA Not Applicable

R Required

NR Not Regulated

SECTION 720: STANDARDS & REQUIREMENTS

CD-5 TABLE 720.2.1 DISTRICT STANDARDS:
URBAN CENTER CHARACTER DISTRICT



Lot Occupation

Lot Width	18 ft. min., 180 ft. max.
Lot Coverage	NR
Lot Enfrontment	Must Enfront a vehicular Thoroughfare, except that if Lots have legal and physical access to a vehicular Thoroughfare via a Driveway or Easement such Lots may Enfront a Civic Space, Pedestrian Path, or a Passage.

Setbacks

Principal Building		Accessory Building	
Front Setback, Principal Frontage	0 ft. min., 12 ft. max. A	Front Setback, Principal Frontage	20 ft. min. + Principal Building Front Setback E
Front Setback, Secondary Frontage	0 ft. min., 12 ft. max. B	Front Setback, Secondary Frontage	20 ft. min. + Principal Building Front Setback F
Side Setback, each side	0 ft. min., 24 ft. max. C	Side Setback, each side	0 ft. min. G
Rear Setback	0 ft. min. D	Rear Setback	0 ft. max. H

LEGEND The following notations are utilized in this table.	P Permitted	NP Not Permitted	NA Not Applicable	R Required	NR Not Regulated
--	--------------------	-------------------------	--------------------------	-------------------	-------------------------

SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.2.1 DISTRICT STANDARDS: URBAN CENTER CHARACTER DISTRICT **CD-5**

Encroachments – Required Setbacks

Encroachment Type	Front	Side	Rear
Steps to Building Entrance	P up to 50% of Setback	P	P
Open Porches, including steps	P up to 50% of Setback	P	P
Patios and Decks, if permitted in applicable Layer	NP	P	P
Openwork Fire Balconies	NP	P	P
Chimney flues, sills, belt courses, cornices, buttresses eaves and other Architectural Features	P	P	P
Satellite dishes / antennae	P	P	P
Mechanical equipment, including HVAC	NP	P	P
Utility lines, wires and associated structures (e.g. poles)	P	P	P
Fences, hedges, walls, Shrubbery, and other landscape features	P	P	P
Parking Areas, Loading Areas and Driveways in 3rd Layer	NP	P	P
Stoops, Lightwells, Terraces	P up to 50% of Setback	P	P
Balconies and Bay Windows	P	P	P

Building Standards

Building Height*

Principal Building 2 Stories min., 5 Stories max.

Accessory Building 2 Stories max.

*Stories do not include Attics and basements

Ceiling Height

Height may not exceed 14 ft. in height from finished floor to finished ceiling, except for a first floor Commercial function which must be a minimum of 11 ft with a maximum of 25 ft.

Facade

Frontage Buildout 60% min

Entrances/Active Functions Main Entrance must be in Facade of Principal Frontages. If Shopfront Frontage is at corner, Main Entrance may be at Principal Frontage or at corner.

LEGEND	P Permitted	NP Not Permitted	NA Not Applicable	R Required	NR Not Regulated
The following notations are utilized in this table.					

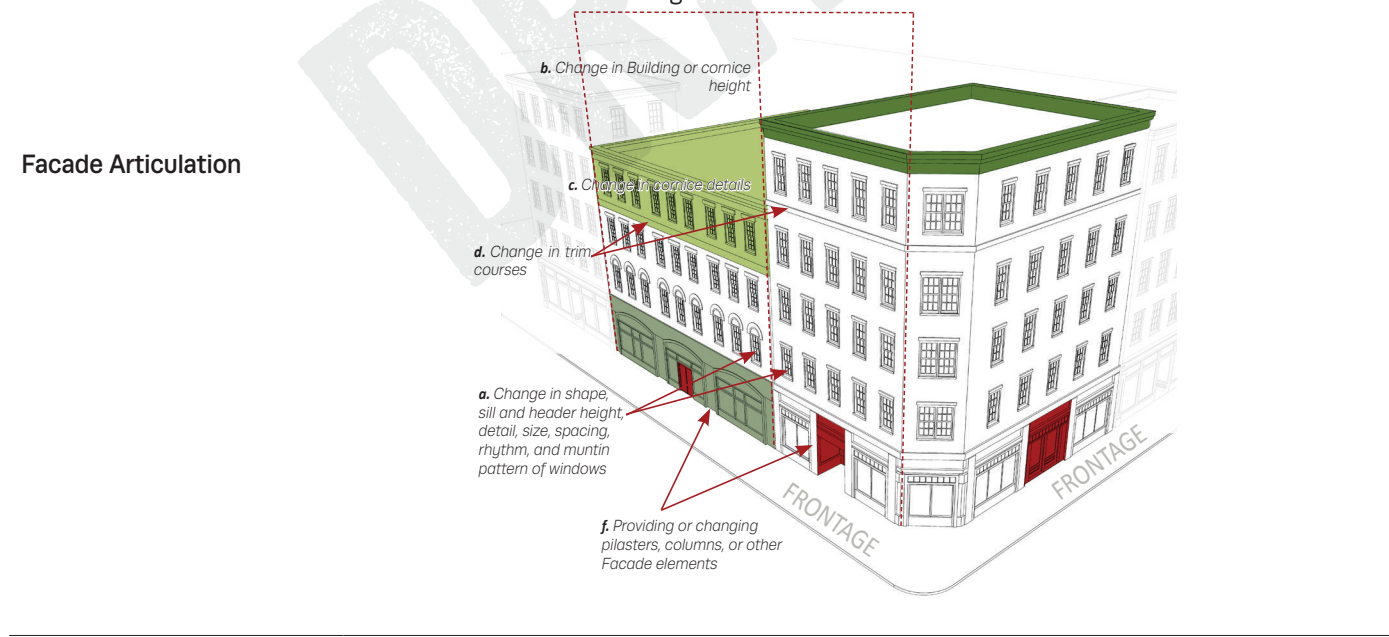
SECTION 720: STANDARDS & REQUIREMENTS

CD-5 TABLE 720.2.1 DISTRICT STANDARDS: URBAN CENTER CHARACTER DISTRICT

Building Standards (continued)

Location of Building at Frontage	Parallel to Frontage Lines
Facade Position	Parallel to straight Frontage Line or to tangent of curved Frontage Line
Blank Walls	NP at Frontage
Facade Openings	Windows and/or doors spaced ≤ 20 ft. apart Square or vertical in proportion Except in Shopfront or Gallery Frontage, Windows in Facade and 1st & 2nd Layers must be single-hung, double-hung, casement or awning types. In Stories above first, Facade openings must be $\leq 50\%$ of total Facade area
Facade Glazing	20% min – 70% max for non-Shopfront; 70% min for Shopfront of total Facade area
Window Alignment	Upper floor windows and other features must be aligned with those of first floor.

A Facade greater than 100 ft. in width must be differentiated so that it appears to be comprised of two or more Adjacent Buildings, by dividing such Facade into two segments, each of which includes a separate entrance and (1) differs from each of the other segments with respect to all of the following: (a) a change in shape, sill, and header height, detail, size, spacing, rhythm, and muntin pattern of windows; (b) a change of Building or cornice height; (c) a change in cornice details; (d) a change in trim courses and other horizontal elements; (e) a change of wall material or wall color; (f) providing or changing pilasters, columns, or other Facade elements; (g) a change in dormer or balcony design, if any; and (2) is composed with a defined center and edges.



LEGEND The following notations are utilized in this table.	P Permitted	NP Not Permitted	NA Not Applicable	R Required	NR Not Regulated
--	--------------------	-------------------------	--------------------------	-------------------	-------------------------

SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.2.1 DISTRICT STANDARDS: URBAN CENTER CHARACTER DISTRICT **CD-5**

Building Standards (continued)

Finished Floor Level	If Residential: 2 ft. – 6 ft. above avg. grade at Frontage Line
Facade Window Sill Height	If Residential: 3 ft. min above avg. grade at Frontage Line Shopfront Frontages: at knee wall
Shopfront Frontages	12" – 24" knee wall required at Frontage
Facade Variety	No Facade may exist more than once on a Block Face or within view of the same Facade
Decks	NP at Frontage

Roof Type & Roof Pitch

Flat	P ; Parapet wall R for non-Residential Buildings
Shed	P at rear only and if ridge is attached to an exterior Building wall
Hip	P
Gable	P
Pitch, if any	8:12 – 14:12, except for shed roofs which may be 3:12 – 14:12

Building Types

Cottage	NP	Live/Work	P
House	NP	Commercial	P
Duplex	NP	Mixed Use	P
Townhouse	P	Flex	P
Small Multifamily	P	Mid-Rise	P
Large Multifamily	P	Civic	P

See **Table 720.5.7-A (Building Types – Summary)** and **Table 720.5.7-B (Building Types – Specific Standards)**

LEGEND The following notations are utilized in this table.	P Permitted	NP Not Permitted	NA Not Applicable	R Required	NR Not Regulated
--	--------------------	-------------------------	--------------------------	-------------------	-------------------------

SECTION 720: STANDARDS & REQUIREMENTS

CD-5 TABLE 720.2.1 DISTRICT STANDARDS: URBAN CENTER CHARACTER DISTRICT

Vehicular Parking Requirements	
Required Vehicular Parking	See Section 720.8
Off-Street Parking Location	P in 3rd Layer only; NP in 1st Layer
Garage Location	P in 3rd Layer only; NP in 1st Layer
Driveway to Off-Street Parking & Passenger Drop-off Location	P in any Layer
Driveway/Vehicular Entrance Maximum Width	10 ft max in 1st Layer if Residential; 24 ft max in 1st Layer if non-Residential
Parking Structures	P subject to requirements of Section 720.8
Parking Structure Pedestrian Exit Location	Via pedestrian access to Frontage

Off-Street Loading, Storage, Trash Receptacle, Utility Box & Service Meter Requirements

Off-Street Loading Space	R sufficient space, with adequate off-street maneuvering area, to accommodate max # of trucks loading, unloading, or standing at any one time for all Principal Uses of Lot; not to Encroach on any required Parking
Off-Street Trash Receptacle	Except for single family Residential, R fully enclosed on 3 sides and enclosed on the 4th side with self-closing gate. In single family Residential, P in 3rd Layer only
Off-Street Loading, Trash Receptacle, Utility Box & Service Meter Locations	P in 3rd Layer only; NP in 1st Layer

Thoroughfares* *As Applicable to Development Sites ≥ 10 Acres or as Otherwise Included in a Plan.

See Section 720.11 (Thoroughfares & Alleys) for additional requirements.

LEGEND	P	NP	NA	R	NR
The following notations are utilized in this table.	Permitted	Not Permitted	Not Applicable	Required	Not Regulated

SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.2.1 DISTRICT STANDARDS: **CD-5**
URBAN CENTER CHARACTER DISTRICT

Non-Building Components

	1st Layer	2nd Layer	3rd Layer
Clothes Drying Apparatus	NP	NP	P
Heating and Air Conditioning Equipment, Utility, Service and Mechanical Equipment	NP	P in 2nd Layer if Screened from Frontage	P
Solar Panels	P in 1st or 2nd Layer if parallel to and integrated into roof design.		P
Antennas & Satellite Equipment less than or equal to 18" in diameter	P in 1st or 2nd Layer if such Layer is only location possible for satisfactory reception, as set forth by the FCC.		P
Outdoor Grilling Equipment	NP	NP	P
Recreation or Play Equipment	NP	NP	P
Animal Enclosures or Shelters	NP	NP	P
Swimming Pools, Hot Tubs and Spas	NP	NP	P

Signs

See **Table 730.2-1 (Sign Types - Summary)** and **Table 730.2-2 (Sign Types - Specific Standards)**

LEGEND

The following notations are utilized in this table.

P Permitted

NP Not Permitted

NA Not Applicable

R Required

NR Not Regulated

SECTION 720: STANDARDS & REQUIREMENTS

CD-5 TABLE 720.2.1 DISTRICT STANDARDS:
URBAN CENTER CHARACTER DISTRICT

Private Landscaping and Fencing

Landscaping

NR

Walls & Fencing (not including Screens)

Height	3.5–4 ft. at Frontage; otherwise 6 ft. max; height measured from avg. undisturbed grade of Adjacent property at property line
Construction	Finished side must face Adjacent property, Thoroughfare, Path, Passage or waterbody
Maintenance	Must be well-maintained, in upright condition and free of missing or broken parts.

Allowed Materials

Natural Wood	P Only picket type allowed at Frontage; other types allowed on sides and rear	Chain Link	P at rear sides only
Brick, Natural Stone or Stucco over Masonry	P	Barbed/razor/concertina wire	P at rear only and if Screened from Thoroughfares and Adjacent property
Wrought Iron or Aluminum	P	Exposed or painted aggregate concrete	NP
Vinyl	NP	Smooth or split-faced block	NP

LEGEND The following notations are utilized in this table.	P Permitted	NP Not Permitted	NA Not Applicable	R Required	NR Not Regulated
--	--------------------	-------------------------	--------------------------	-------------------	-------------------------

SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.2.1 DISTRICT STANDARDS: URBAN CENTER CHARACTER DISTRICT **CD-5**

Screens & Streetscreens

Height

	At Frontage or Adjacent to Civic Space	Not at Frontage or Adjacent to Civic Space
Wall Screen/Streetscreen Height	3.5 ft. to 4 ft.	5 ft. to 6 ft; Min 6 ft. for Dumpsters and trash receptacles
Fence Screen/Streetscreen Height	3.5 ft. to 4 ft.	5 ft. to 6 ft; Min 6 ft. for Dumpsters and trash receptacles
Hedge Screen/Streetscreen Height	3.5 ft. to 4 ft. at installation	5 ft. to 6 ft. at installation

Materials

Wall Screen or Streetscreen	Brick, natural Stone or Stucco over Masonry
Fence Screen or Streetscreen	Natural Wood, painted or unpainted
Hedge Screen or Streetscreen	Evergreen plants with min. 80% opacity

Additional Standards

Non-Residential & Multi-Family Residential Screen/Streetscreen Adjacent to or across Thoroughfare from Non-Multi-Family Residential	NR
Screening of Parking, Loading Areas, Service Areas, Outdoor Storage, Trash Receptacles/ Dumpsters, HVAC and other equipment Screened from Frontage, Civic Space and Adjacent Property	R ; except at Driveways. Parking Lots and Parking Areas must be Screened from Frontage and Civic Space by Building or Streetscreen; or by Building, Wall, hedge or Fence not at Frontages or Adjacent to Civic Space.
Rooftop Antenna Screening	R
HVAC, Mechanical and other Equipment Screening	R ; must be Screened from Frontage and Civic Space by Building parapet or other Building Element
Streetscreen Location	2nd Layer

SECTION 720

LEGEND

The following notations are utilized in this table.

P Permitted

NP Not Permitted

NA Not Applicable

R Required

NR Not Regulated

SECTION 720: STANDARDS & REQUIREMENTS

SD-M TABLE 720.2.1 DISTRICT STANDARDS: MILL SPECIAL DISTRICT

General Description

The SD-M Mill Special District consists of the existing mill Buildings and surrounding area, a medium intensity area that allows for a mix of Building types and Residential, Retail, Office, and Light Industrial / Light Manufacturing Uses. There are medium or shallow front Setbacks and narrow side Setbacks. It has variable private landscaping, and it has streets with Curbs, Sidewalks, and Thoroughfare trees that define medium-sized blocks. The intent of this District is to protect the character of the historic mill Buildings, continue to allow for adaptive reuse where appropriate, and provide for compatible infill development.

DRAFT

SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.2.1 DISTRICT STANDARDS: **SD-M**
MILL SPECIAL DISTRICT

Block Size*

*As Applicable to Development Sites \geq 10 Acres or as Otherwise Included in a Plan.

Block Perimeter 2,400 ft. max.

Private Frontage Types

Common Yard	P	Stepfront	P
Porch	P	Shopfront	P
Fence	P	Gallery	NP
Terrace/Lightwell	P	Arcade	NP
Forecourt	P	Dooryard	P
Stoop	P	Commercial front	P

See **Table 720.5.1 (Private Frontage Types)**

Civic Space Types*

*As Applicable to Development Sites \geq 10 Acres or as Otherwise Included in a Plan.

Natural Area	NP	Playground	P
Green	P	Sports Field or Court	P
Square	P	Community Garden	P
Plaza	P	Pocket Park	P

See **Table 720.12.2.A (Civic Space Types – Summary)** and **Table 720.12.2.B (Civic Space – Specific Standards)**

Permitted Uses

See **Table 720.7.1 (Permitted Principal Uses)**, **Table 720.7.2 (Permitted Accessory Uses)**, and **Table 720.7.3 (Permitted Temporary Uses)**

Number of Buildings

Principal Building	1 max
Accessory Buildings	1 max

LEGEND

The following notations are utilized in this table.

P Permitted

NP Not Permitted

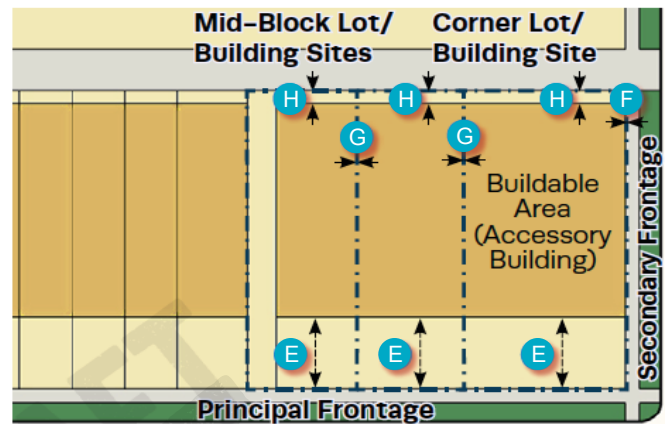
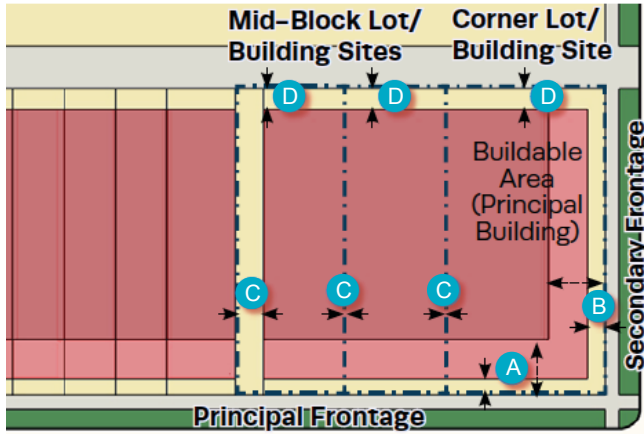
NA Not Applicable

R Required

NR Not Regulated

SECTION 720: STANDARDS & REQUIREMENTS

SD-M TABLE 720.2.1 DISTRICT STANDARDS:
MILL SPECIAL DISTRICT



Lot Occupation

Lot Width	18 ft. min., 75 ft. max., except 100 ft. min, 500 ft. max. for Flex Building Type
Lot Coverage	Not Regulated
Lot Enfrontment	Must Enfront a vehicular Thoroughfare, except that if Lots have legal and physical access to a vehicular Thoroughfare via a Driveway or Easement such Lots may Enfront a Civic Space, Pedestrian Path, or a Passage.

Setbacks

Principal Building			Accessory Building		
Front Setback, Principal Frontage	10 ft. min.	A	Front Setback, Principal Frontage	20 ft. min. + Principal Building Front Setback	E
Front Setback, Secondary Frontage	10 ft. min.	B	Front Setback, Secondary Frontage	20 ft. min. + Principal Building Front Setback	F
Side Setback, each side	0 ft. min.	C	Side Setback, each side	0 ft. min.	G
Rear Setback	0 ft. min.	D	Rear Setback	0 ft. min.	H

LEGEND The following notations are utilized in this table.	P Permitted	NP Not Permitted	NA Not Applicable	R Required	NR Not Regulated
--	--------------------	-------------------------	--------------------------	-------------------	-------------------------

SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.2.1 DISTRICT STANDARDS: **SD-M**
MILL SPECIAL DISTRICT

Encroachments – Required Setbacks			
Encroachment Type	Front	Side	Rear
Steps to Building Entrance	P up to 50% of Setback	P	P
Open Porches, including steps	P up to 50% of Setback	P	P
Patios and Decks, if permitted in applicable Layer	NP	P	P
Openwork Fire Balconies	NP	P	P
Chimney flues, sills, belt courses, cornices, buttresses eaves and other Architectural Features	P	P	P
Satellite dishes / antennae	P	P	P
Mechanical equipment, including HVAC	NP	P	P
Utility lines, wires and associated structures (e.g. poles)	P	P	P
Fences, hedges, walls, Shrubbery, and other landscape features	P	P	P
Parking Areas, Loading Areas and Driveways in 3rd Layer	NP	P	P
Stoops, Lightwells, Terraces	P up to 50% of Setback	P	P
Balconies and Bay Windows	P	P	P

Building Standards

Building Height*	
Principal Building	For Cottage, House, & Duplex Building Types: 1 Story min., 2 Stories max.; For Townhouse, Small Multifamily, and Live/Work Building Types: 2 Stories min., 3 Stories max.; For Flex Building Type: 48 ft. max.
Accessory Building	2 stories max.

*Stories do not include Attics and basements

Ceiling Height

Height may not exceed 14 ft. from finished floor to finished ceiling, except for a first floor Commercial function which must be a minimum of 11 ft with a maximum of 25 ft.

Facade

Frontage Buildout	60% min
-------------------	---------

LEGEND	P	NP	NA	R	NR
The following notations are utilized in this table.	Permitted	Not Permitted	Not Applicable	Required	Not Regulated

SECTION 720

SECTION 720: STANDARDS & REQUIREMENTS

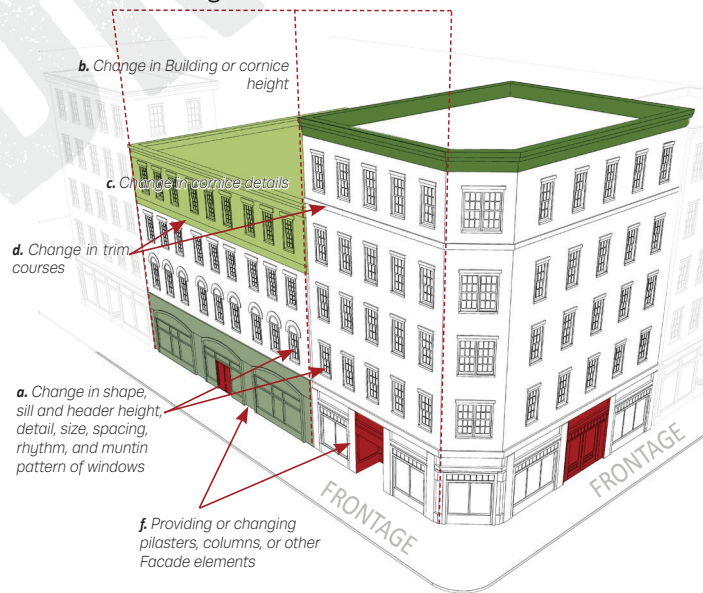
SD-M TABLE 720.2.1 DISTRICT STANDARDS:
MILL SPECIAL DISTRICT

Building Standards (continued)

Entrances/Active Functions	Main Entrance must be in Facade of Principal Frontages. If Shopfront Frontage is at corner, Main Entrance may be at Principal Frontage or at corner.
Location of Building at Frontage	Parallel to Frontage Lines
Facade Position	Parallel to straight Frontage Line or to tangent of curved Frontage Line
Blank Walls	NP at Frontage
Facade Openings	Windows and/or doors spaced ≤ 20 ft. apart Square or vertical in proportion Except in Shopfront or Gallery Frontage, Windows in Facade and 1st & 2nd Layers must be single-hung, double-hung, casement or awning types. In Stories above first, Facade openings must be $\leq 50\%$ of total Facade area
Facade Glazing	20% min – 70% max for non-Shopfront; 70% min for Shopfront of total Facade area
Window Alignment	Upper floor windows and other features must be aligned with those of first floor.

A Facade greater than 100 ft. in width must be differentiated so that it appears to be comprised of two or more Adjacent Buildings, by dividing such Facade into two segments, each of which includes a separate entrance and (1) differs from each of the other segments with respect to all of the following: (a) a change in shape, sill, and header height, detail, size, spacing, rhythm, and muntin pattern of windows; (b) a change of Building or cornice height; (c) a change in cornice details; (d) a change in trim courses and other horizontal elements; (e) a change of wall material or wall color; (f) providing or changing pilasters, columns, or other Facade elements; (g) a change in dormer or balcony design, if any; and (2) is composed with a defined center and edges

Facade Articulation



LEGEND The following notations are utilized in this table.	P Permitted	NP Not Permitted	NA Not Applicable	R Required	NR Not Regulated
--	--------------------	-------------------------	--------------------------	-------------------	-------------------------

SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.2.1 DISTRICT STANDARDS: **SD-M**
MILL SPECIAL DISTRICT

Building Standards (continued)

Finished Floor Level	If Residential: 2 ft. – 6 ft. above avg. grade at Frontage Line
Facade Window Sill Height	If Residential: 3 ft. min above avg. grade at Frontage Line Shopfront Frontages: at knee wall
Shopfront Frontages	12" – 24" knee wall required at Frontage
Facade Variety	NR
Decks	NP at Frontage

Roof Type & Roof Pitch

Flat	P
Shed	P at rear only and if ridge is attached to an exterior Building wall
Hip	P
Gable	P
Pitch, if any	8:12 – 14:12, except for shed roofs which may be 3:12 – 14:12

Building Types

Cottage	P	Live/Work	P
House	P	Commercial	NP
Duplex	P	Mixed Use	NP
Townhouse	P	Flex	P
Small Multifamily	P	Mid-Rise	NP
Large Multifamily	NP	Civic	P

See **Table 720.5.7-A (Building Types – Summary)** and **Table 720.5.7-B (Building Types – Specific Standards)**

LEGEND The following notations are utilized in this table.	P Permitted	NP Not Permitted	NA Not Applicable	R Required	NR Not Regulated
--	--------------------	-------------------------	--------------------------	-------------------	-------------------------

SECTION 720: STANDARDS & REQUIREMENTS

SD-M TABLE 720.2.1 DISTRICT STANDARDS:
MILL SPECIAL DISTRICT

Vehicular Parking Requirements

Required Vehicular Parking	See Section 720.8
Off-Street Parking Location	P in 3rd Layer only; NP in 1st Layer. Existing mill sites shall be exempt from this requirement.
Garage Location	P in 3rd Layer only; NP in 1st Layer. Existing mill sites shall be exempt from this requirement.
Driveway to Off-Street Parking & Passenger Drop-off Location	P in any Layer
Driveway/Vehicular Entrance Maximum Width	10 ft max in 1st Layer if Residential; 24 ft max in 1st Layer if non-Residential
Parking Structures	NP
Parking Structure Pedestrian Exit Location	NA

Off-Street Loading, Storage, Trash Receptacle, Utility Box & Service Meter Requirements

Off-Street Loading Space	R sufficient space, with adequate off-street maneuvering area, to accommodate max # of trucks loading, unloading, or standing at any one time for all Principal Uses of Lot; not to Encroach on any required Parking
Off-Street Trash Receptacle	Except for single family Residential, R fully enclosed on 3 sides and enclosed on the 4th side with self-closing gate. In single family Residential, P in 3rd Layer only
Off-Street Loading, Trash Receptacle, Utility Box & Service Meter Locations	P in 3rd Layer only; NP in 1st Layer

LEGEND The following notations are utilized in this table.	P Permitted	NP Not Permitted	NA Not Applicable	R Required	NR Not Regulated
--	--------------------	-------------------------	--------------------------	-------------------	-------------------------

SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.2.1 DISTRICT STANDARDS: **SD-M**
MILL SPECIAL DISTRICT

Thoroughfares*

*As Applicable to Development Sites \geq 10 Acres or as Otherwise Included in a Plan.

See Section 720.11 (Thoroughfares & Alleys) for additional requirements.

Non-Building Components

	1st Layer	2nd Layer	3rd Layer
Clothes Drying Apparatus	NP	NP	P
Heating and Air Conditioning Equipment, Utility, Service and Mechanical Equipment	NP	P in 2nd Layer if Screened from Frontage	P
Solar Panels	P in 1st or 2nd Layer if parallel to and integrated into roof design.		P
Antennas & Satellite Equipment less than or equal to 18" in diameter	P in 1st or 2nd Layer if such Layer is only location possible for satisfactory reception, as set forth by the FCC.		P
Outdoor Grilling Equipment	NP	NP	P
Recreation or Play Equipment	NP	NP	P
Animal Enclosures or Shelters	NP	NP	P
Swimming Pools, Hot Tubs and Spas	NP	NP	P

Signs

See **Table 730.2-1 (Sign Types - Summary)** and **Table 730.2-2 (Sign Types - Specific Standards)**

LEGEND The following notations are utilized in this table.	P Permitted	NP Not Permitted	NA Not Applicable	R Required	NR Not Regulated

SECTION 720: STANDARDS & REQUIREMENTS

SD-M TABLE 720.2.1 DISTRICT STANDARDS:
MILL SPECIAL DISTRICT

Private Landscaping and Fencing

Landscaping
R; 2 trees per 50 feet of Frontage if front Setback ≥ 15 ft, planted in 1st Layer, minimum of 30% of 1st Layer must be landscaped

Walls & Fencing (not including Screens)

Height	3.5–4 ft. at Frontage; otherwise 6 ft. max; height measured from avg. undisturbed grade of Adjacent property at property line
Construction	Finished side must face Adjacent property, Thoroughfare, Path, Passage or waterbody
Maintenance	Must be well-maintained, in upright condition and free of missing or broken parts.

Allowed Materials

Natural Wood	P Only picket type allowed at Frontage; other types allowed on sides and rear	Chain Link	P at rear sides only
Brick, Natural Stone, or Stucco over Masonry	P	Barbed/razor/concertina wire	P at rear only and if Screened from Thoroughfares and Adjacent property
Wrought Iron or Aluminum	P	Exposed or painted aggregate concrete	NP
Vinyl	NP	Smooth or split-faced block	NP

LEGEND The following notations are utilized in this table.	P Permitted	NP Not Permitted	NA Not Applicable	R Required	NR Not Regulated
--	--------------------	-------------------------	--------------------------	-------------------	-------------------------

SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.2.1 DISTRICT STANDARDS: **SD-M**
MILL SPECIAL DISTRICT

Screens & Streetscreens

Height

	At Frontage or Adjacent to Civic Space	Not at Frontage or Adjacent to Civic Space
Wall Screen/Streetscreen Height	3.5 ft. to 4 ft.	5 ft. to 6 ft; Min 6 ft. for Dumpsters and trash receptacles
Fence Screen/Streetscreen Height	3.5 ft. to 4 ft.	5 ft. to 6 ft; Min 6 ft. for Dumpsters and trash receptacles
Hedge Screen/Streetscreen Height	3.5 ft. to 4 ft. at installation	5 ft. to 6 ft. at installation

Materials

Wall Screen or Streetscreen	Brick, natural Stone or Stucco over Masonry
Fence Screen or Streetscreen	Natural Wood, painted or unpainted
Hedge Screen or Streetscreen	Evergreen plants with min. 80% opacity

Additional Standards

Non-Residential & Multi-Family Residential Screen/Streetscreen Adjacent to or across Thoroughfare from Non-Multi-Family Residential	NR
Screening of Parking, Loading Areas, Service Areas, Outdoor Storage, Trash Receptacles/ Dumpsters, HVAC and other equipment Screened from Frontage, Civic Space and Adjacent Property	R ; except at Driveways. Parking Lots and Parking Areas must be Screened from Frontage and Civic Space by Building or Streetscreen; or by Building, Wall, hedge or Fence not at Frontages or Adjacent to Civic Space.
Rooftop Antenna Screening	R
HVAC, Mechanical and other Equipment Screening	R ; must be Screened from Frontage and Civic Space by Building parapet or other Building Element
Streetscreen Location	2nd Layer

LEGEND

The following notations are utilized in this table.

P Permitted

NP Not Permitted

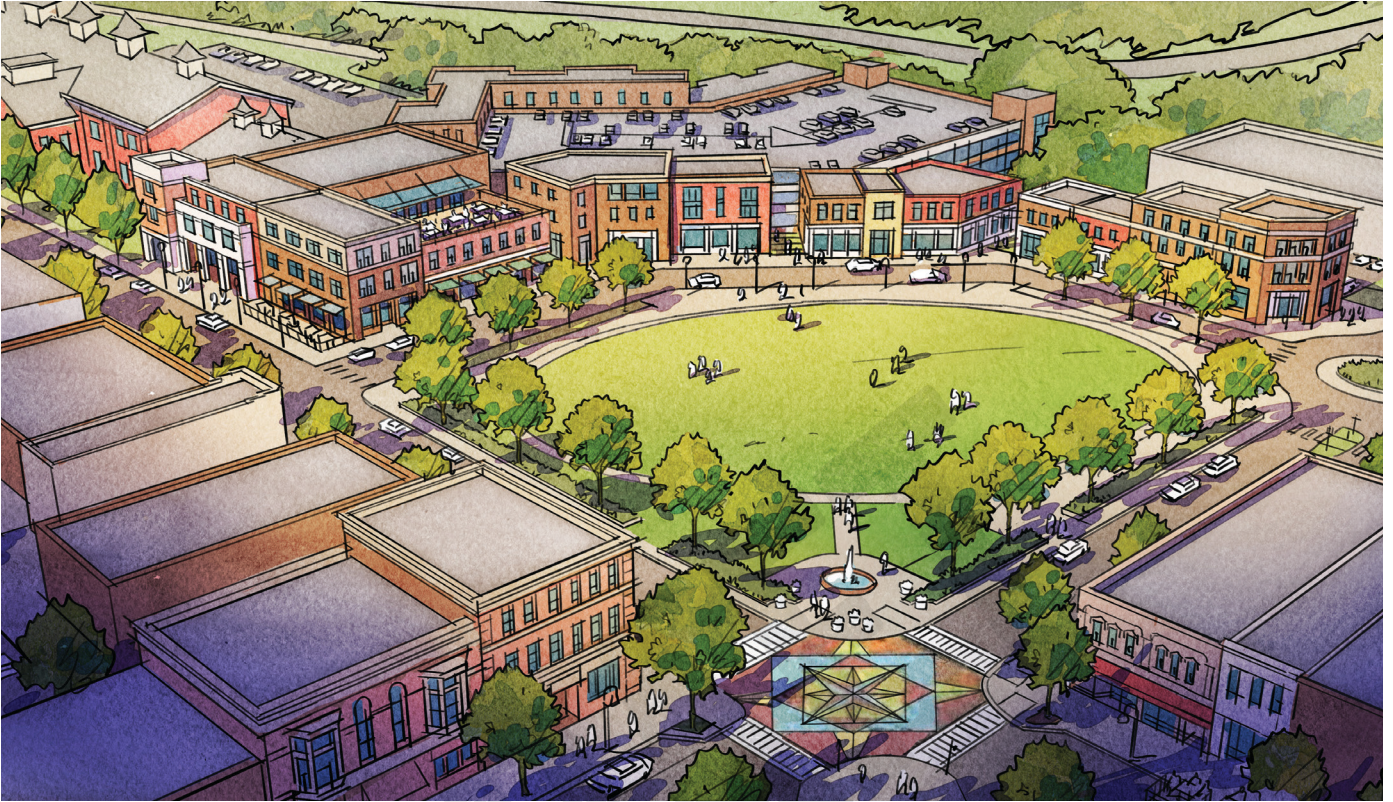
NA Not Applicable

R Required

NR Not Regulated

SECTION 720: STANDARDS & REQUIREMENTS

CD-CV TABLE 720.2.1 DISTRICT STANDARDS: CIVIC CHARACTER DISTRICT



General Description

The CD-CV Civic Character District is assigned to areas designated for Civic purposes. These may be one or more Civic Space Types allowed within or Adjacent to any specific Character District, as well as sites dedicated to significant Buildings to be used for Civic purposes, such as Libraries, Museums, Places of Assembly, and Schools.

SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.2.1 DISTRICT STANDARDS: **CD-CV**
CIVIC CHARACTER DISTRICT

Block Size*

*As Applicable to Development Sites \geq 10 Acres or as Otherwise Included in a Plan.

Block Perimeter Per standard of any Adjacent District

Private Frontage Types

NR

Civic Space Types*

*As Applicable to Development Sites \geq 10 Acres or as Otherwise Included in a Plan.

Natural Area	P	Playground	P
Green	P	Sports Field or Court	P
Square	P	Community Garden	P
Plaza	P	Pocket Park	P

See **Table 720.12.2.A (Civic Space Types - Summary)** and **Table 720.12.2.B (Civic Space - Specific Standards)**

Permitted Uses

See **Table 720.7.1 (Permitted Principal Uses)**, **Table 720.7.2 (Permitted Accessory Uses)**, and **Table 720.7.3 (Permitted Temporary Uses)**

Number of Buildings

Principal Building	1 max
Accessory Buildings	1 max

Lot Occupation

Lot Width	NR
Lot Coverage	NR
Lot Enfrontment	Must Enfront a vehicular Thoroughfare, Internal Drive, Pedestrian Path, Passage, pedestrian walkway or waterbody

LEGEND	P	NP	NA	R	NR
The following notations are utilized in this table.	Permitted	Not Permitted	Not Applicable	Required	Not Regulated

SECTION 720: STANDARDS & REQUIREMENTS

CD-CV TABLE 720.2.1 DISTRICT STANDARDS:
CIVIC CHARACTER DISTRICT

Setbacks		
Principal Building		Accessory Building
Front Setback, Principal Frontage	0 ft. min., 50% of Lot Depth max.	
Front Setback, Secondary Frontage	0 ft. min.	NR
Side Setback, each side	0 ft. min.	
Rear Setback	0 ft. min.	

Encroachments – Required Setbacks			
Encroachment Type	Front	Side	Rear
Steps to Building Entrance	P up to 50% of Setback	P	P
Open Porches, including steps	P up to 50% of Setback	P	P
Patios and Decks, if permitted in applicable Layer	NP	P	P
Openwork Fire Balconies	NP	P	P
Chimney flues, sills, belt courses, cornices, buttresses eaves and other Architectural Features	P	P	P
Satellite dishes / antennae	P	P	P
Mechanical equipment, including HVAC	NP	P	P
Utility lines, wires and associated structures (e.g. poles)	P	P	P
Fences, hedges, walls, Shrubbery, and other landscape features	P	P	P
Parking Areas, Loading Areas and Driveways in 3rd Layer	NP	P	P
Stoops, Lightwells, Terraces	P up to 50% of Setback	P	P
Balconies and Bay Windows	P	P	P

LEGEND The following notations are utilized in this table.	P Permitted	NP Not Permitted	NA Not Applicable	R Required	NR Not Regulated
--	--------------------	-------------------------	--------------------------	-------------------	-------------------------

SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.2.1 DISTRICT STANDARDS: **CD-CV**
CIVIC CHARACTER DISTRICT

Building Standards

Building Height*

Principal Building	20 ft. higher than max. height of any Adjacent Character District, max.
Accessory Building	Not to exceed Principal Building Height

*Stories do not include Attics and basements

Ceiling Height

14 ft. min. 1st floor; 10 ft. min. other floors

Facade

Entrances/Active Functions	Main Entrance must be in Facade of Principal Frontages. If Shopfront Frontage at corner, Main Entrance may be at Principal Frontage or at corner.
Location of Building at Frontage	Parallel to Frontage Lines
Facade Position	Parallel to straight Frontage Line or to tangent of curved Frontage Line
Blank Walls	NP at Frontage
Facade Openings	Windows and/or doors spaced ≤ 20 ft. apart. Square or vertical in proportion. Except in Shopfront or Gallery Frontage, Windows in Facade and 1st & 2nd Layers must be single-hung, double-hung, casement or awning types. In Stories above first, Facade openings must be ≤ 50% of total Facade area.
Facade Glazing	20% min – 70% max for non-Shopfront of total Facade area
Window Alignment	Upper floor windows and other features must be aligned with those of first floor.
Facade Articulation	NR
Finished Floor Level	NR
Facade Window Sill Height	NR
Shopfront Frontages	NR
Facade Variety	No Facade may exist more than once on a Block Face or within view of the same Facade
Decks	NP at Frontage

LEGEND

The following notations are utilized in this table.

P Permitted

NP Not Permitted

NA Not Applicable

R Required

NR Not Regulated

SECTION 720: STANDARDS & REQUIREMENTS

CD-CV TABLE 720.2.1 DISTRICT STANDARDS:
CIVIC CHARACTER DISTRICT

Building Standards (continued)	
Roof Type & Roof Pitch	
Flat	P
Shed	P at rear only and if ridge is attached to an exterior Building wall
Hip	P
Gable	P
Pitch, if any	8:12 – 14:12, except for shed roofs which may be 3:12 – 14:12
Building Types	
Cottage	NP
House	NP
Duplex	NP
Townhouse	NP
Small Multifamily	NP
Large Multifamily	NP
Live/Work	NP
Commercial	NP
Mixed Use	NP
Flex	NP
Mid-Rise	NP
Civic	P
See Table 720.5.7-A (Principal Building Types – Summary) and Table 720.5.7-B (Principal Building Types – Specific Standards)	
Vehicular Parking Requirements	
Required Vehicular Parking	See Section 720.8
Off-Street Parking Location	P in 3rd Layer only; NP in 1st Layer
Garage Location	P in 3rd Layer only; NP in 1st Layer
Driveway to Off-Street Parking & Passenger Drop-off Location	P in any Layer
Driveway/Vehicular Entrance Maximum Width	24 ft max in 1st Layer and 2nd Layer
Parking Structures	P
Parking Structure Pedestrian Exit Location	Via pedestrian access to Frontage

LEGEND The following notations are utilized in this table.	P Permitted	NP Not Permitted	NA Not Applicable	R Required	NR Not Regulated
--	--------------------	-------------------------	--------------------------	-------------------	-------------------------

SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.2.1 DISTRICT STANDARDS: **CD-CV**
CIVIC CHARACTER DISTRICT

Off-Street Loading, Storage, Trash Receptacle, Utility Box & Service Meter Requirements

Off-Street Loading Space	R sufficient space, with adequate off-street maneuvering area, to accommodate max # of trucks loading, unloading, or standing at any one time for all Principal Uses of Lot; not to Encroach on any required Parking
Off-Street Trash Receptacle	R fully enclosed on 3 sides and enclosed on the 4th side with self-closing gate.
Off-Street Loading, Trash Receptacle, Utility Box & Service Meter Locations	P in 3rd Layer only; NP in 1st Layer

Thoroughfares* **As Applicable to Development Sites ≥ 10 Acres or as Otherwise Included in a Plan.*

See Section 720.11 (Thoroughfares & Alleys) for additional requirements.

Non-Building Components

	1st Layer	2nd Layer	3rd Layer
Clothes Drying Apparatus	NP	NP	P
Heating and Air Conditioning Equipment, Utility, Service and Mechanical Equipment	NP	P in 2nd Layer if Screened from Frontage	P
Solar Panels	P in 1st or 2nd Layer if parallel to and integrated into roof design.		P
Antennas & Satellite Equipment less than or equal to 18" in diameter	P in 1st or 2nd Layer if such Layer is only location possible for satisfactory reception, as set forth by the FCC.		P
Outdoor Grilling Equipment	NP	NP	P
Recreation or Play Equipment	NP	P	P
Animal Enclosures or Shelters	NP	P	P
Swimming Pools, Hot Tubs and Spas	NP	P	P

Signs

See **Table 730.2-1 (Sign Types - Summary)** and **Table 730.2-2 (Sign Types - Specific Standards)**

LEGEND The following notations are utilized in this table.	P Permitted	NP Not Permitted	NA Not Applicable	R Required	NR Not Regulated
--	--------------------	-------------------------	--------------------------	-------------------	-------------------------

SECTION 720: STANDARDS & REQUIREMENTS

CD-CV TABLE 720.2.1 DISTRICT STANDARDS:
CIVIC CHARACTER DISTRICT

Private Landscaping and Fencing

Landscaping
R; 2 trees per 50 feet of Frontage if front Setback ≥ 15 ft, planted in 1st Layer, minimum of 30% of 1st Layer must be landscaped

Walls & Fencing (not including Screens)

Height	3.5 – 4 ft. at Frontage; otherwise 6 ft. max; height measured from avg. undisturbed grade of Adjacent property at property line
Construction	Finished side must face Adjacent property, Thoroughfare, Path, Passage or waterbody
Maintenance	Must be well-maintained, in upright condition and free of missing or broken parts.

Allowed Materials

Natural Wood	P Only picket type allowed at Frontage; other types allowed on sides and rear	Chain Link at rear sides only	P at rear sides only
Brick, Natural Stone or Stucco over Masonry	P	Barbed/razor /concertina wire	P at rear only and if Screened from Thoroughfares and Adjacent property
Wrought Iron or Aluminum	P	Exposed or painted aggregate concrete	NP
Vinyl	NP	Smooth or split-faced block	NP

LEGEND The following notations are utilized in this table.	P Permitted	NP Not Permitted	NA Not Applicable	R Required	NR Not Regulated
--	--------------------	-------------------------	--------------------------	-------------------	-------------------------

SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.2.1 DISTRICT STANDARDS: **CD-CV**
CIVIC CHARACTER DISTRICT

Screens & Streetscreens		
Height		
	At Frontage or Adjacent to Civic Space	Not at Frontage or Adjacent to Civic Space
Wall Screen/Streetscreen Height	3.5 ft. to 4 ft.	5 ft. to 6 ft; Min 6 ft. for Dumpsters and trash receptacles
Fence Screen/Streetscreen Height	3.5 ft. to 4 ft.	5 ft. to 6 ft; Min 6 ft. for Dumpsters and trash receptacles
Hedge Screen/Streetscreen Height	3.5 ft. to 4 ft. at installation	5 ft. to 6 ft. at installation
Materials		
Wall Screen or Streetscreen	Brick, natural Stone or Stucco over Masonry	
Fence Screen or Streetscreen	Natural Wood, painted or unpainted	
Hedge Screen or Streetscreen	Evergreen plants with min. 80% opacity	
Additional Standards		
Non-Residential & Multi-Family Residential Screen/Streetscreen Adjacent to or across Thoroughfare from Non-Multi-Family Residential	NR	
Screening of Parking, Loading Areas, Service Areas, Outdoor Storage, Trash Receptacles/ Dumpsters, HVAC and other equipment Screened from Frontage, Civic Space and Adjacent Property	R; except at Driveways. Parking Lots and Parking Areas must be Screened from Frontage and Civic Space by Building or Streetscreen; or by Building, Wall, hedge or Fence not at Frontages or Adjacent to Civic Space.	
Rooftop Antenna Screening	R	
HVAC, Mechanical and other Equipment Screening	R; must be Screened from Frontage and Civic Space by Building parapet or other Building Element	
Streetscreen Location	2nd Layer	

SECTION 720

LEGEND The following notations are utilized in this table.	P Permitted	NP Not Permitted	NA Not Applicable	R Required	NR Not Regulated
--	--------------------	-------------------------	--------------------------	-------------------	-------------------------

SECTION 720: STANDARDS & REQUIREMENTS

720.2.2 Specific to CD–CV (Civic) Districts & Civic Space.

Within an area designated on the applicable Regulating Plan, or on an approved or proposed Site Plan or Development Plan as District CD–CV:

1. Civic Space shall be provided in accordance with Sections 710.2.2 and 720.12, and designed generally as described in **Table 720.12.2.A (Civic Space Types – Summary)** and **Table 720.12.2.B (Civic Space – Specific Standards)**, as related to the Abutting Character District, or if Abutting more than one, as related to the Abutting Character District with the largest number of linear feet of common boundary with the Civic Space;
2. Without limitation to Section 720.2.2, Civic Buildings within District CD–CV shall comply with the standards and requirements of **Table 720.2.1 (District Standards)** and any other requirements as may be determined by the Governing Body;
3. Buildings operated for Civic purposes but not located within District CD–CV must comply with the applicable District standards of the District in which they are situated.

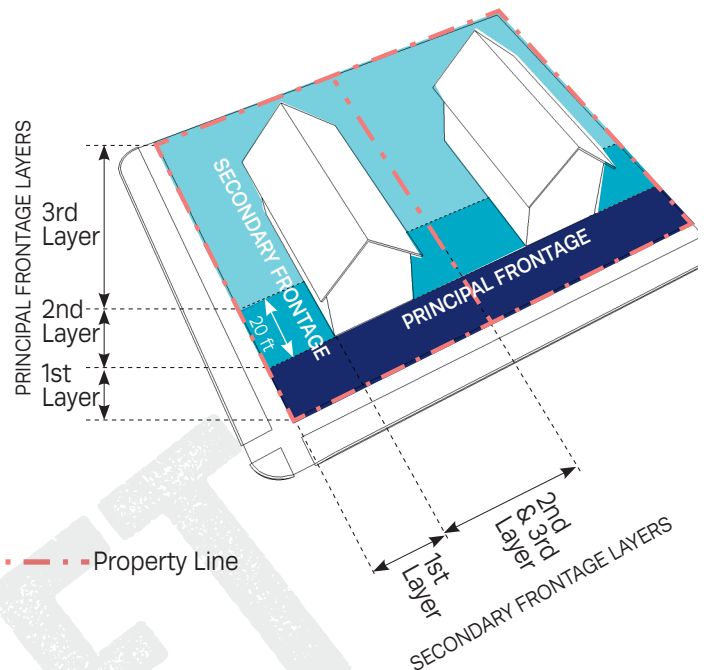
SECTION 720.3 LOTS.

720.3.1 Layers.

Lots are composed of three Layers, the First Layer, the Second Layer and the Third Layer, as shown in **Illustration 720.3.1 (Layers)** and as defined in **Section 740** of this Character–Based Code.

Layers are used to describe areas within a Lot where certain elements or Uses are permitted to be located.

ILLUSTRATION 720.3.1 LAYERS



720.3.2 Lot Dimensions.

Newly platted Lots within each District shall be dimensioned according to **Table 720.2.1 (District Standards)**.

720.3.3 Lot Coverage.

Lot Coverage within each District shall not exceed that provided in **Table 720.2.1 (District Standards)**.

720.3.4 Lot Enfrontment.

Each Lot shall comply with the Lot Enfrontment requirements of **Table 720.1 (District Standards)**.

720.3.5 Certain Lots Prohibited.

Flag Lots, Through Lots, and Reverse Lots are prohibited.

SECTION 720.4 BUILDING PLACEMENT, NUMBER & FRONT FACADES.

720.4.1 Building Placement.

Buildings shall be located in relation to the boundaries of their Lots and shall comply with the Setback standards for the applicable District, according to **Table 720.2.1 (District Standards)**. See **Illustration 720.4.1 (Setback Designations)**.

ILLUSTRATION 720.4.1 SETBACK DESIGNATIONS

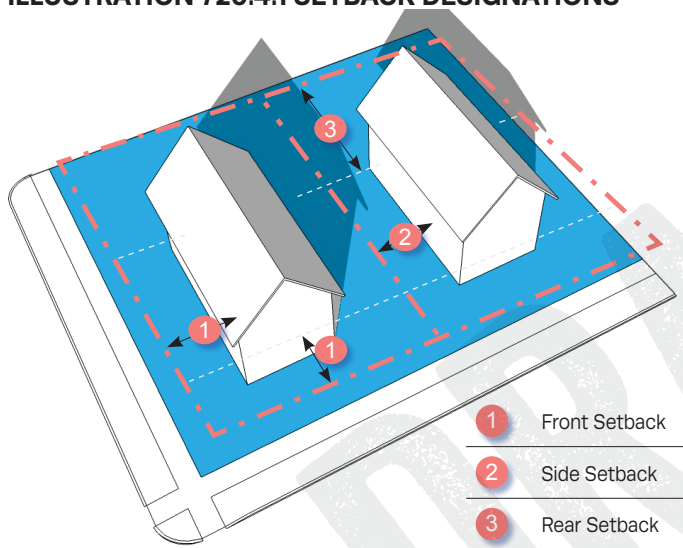
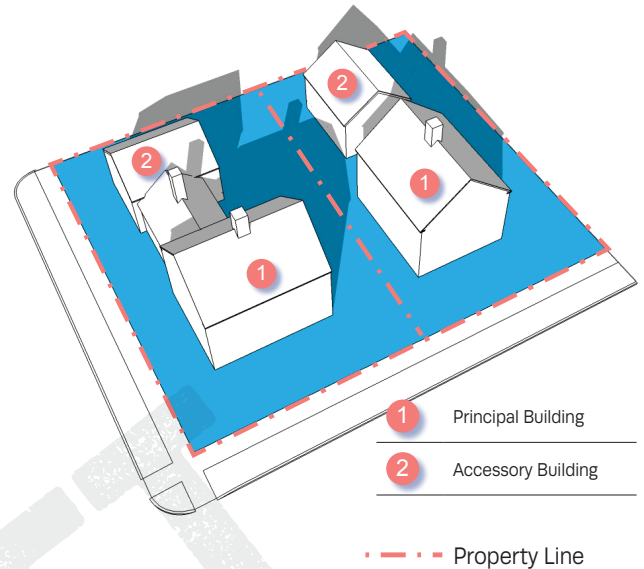


ILLUSTRATION 720.4.2 PRINCIPAL BUILDING / ACCESSORY BUILDING



720.4.2 Principal Buildings.

Within each-District:

1. the number of Principal Buildings on each Lot shall not exceed that indicated **Table 720.2.1 (District Standards)**; and
2. Principal Buildings shall be oriented and situated generally as specified in **Table 720.2.1 (District Standards)** and illustrated generally in **Illustration 720.4.2 (Principal Building / Accessory Building)**.

720.4.3 Accessory Building.

Within each District:

1. the number of Accessory Buildings on each Lot shall not exceed that indicated in **Table 720.2.1 (District Standards)**; and
2. any such Accessory Buildings shall be located as specified in **Table 720.2.1 (District Standards)** and illustrated generally in **Illustration 720.4.2 (Principal Building / Accessory Building)**.

720.4.4 Building Facades.

1. Within each District, Building Facades shall be built as required in **Table 720.2.1 (District Standards)**.
2. In each District, the Facade of the Principal Building shall be built along the minimum percentage of the Front Lot Line width at the Setback, as specified as Frontage Buildout on **Table 720.2.1 (District Standards)**; provided that a Streetscreen may be substituted for a Facade for up to 20% of such applicable Frontage Buildout requirement.

SECTION 720: STANDARDS & REQUIREMENTS

SECTION 720.5

PRIVATE FRONTAGE, BUILDING FORM & BUILDING TYPE; FLOOR ELEVATION.

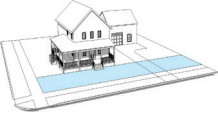
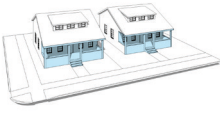






720.5.1 Private Frontage – General.

Within each District, the Private Frontage shall conform to and be allocated in accordance with **Table 720.5.1 (Private Frontage Types)** and **Table 720.2.1 (District Standards)**.

**REMAINDER OF PAGE
INTENTIONALLY LEFT BLANK**

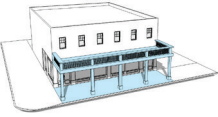
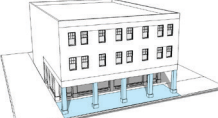


SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.5.1 PRIVATE FRONTAGE TYPES

Private Frontage Type		Permitted Districts
	<p>Common Yard A planted Frontage wherein the Facade is set back substantially from the Frontage Line. The front yard created remains unfenced and is visually continuous with Adjacent yards, supporting a common landscape. The deep Setback provides a buffer from higher speed Thoroughfares.</p>	<p>CD-3 CD-4 SD-M</p>
	<p>Porch A planted Frontage wherein the Facade is set back from the Frontage Line with an attached Porch permitted to Encroach. This may be used with or without a Fence to maintain Thoroughfare spatial definition.</p>	<p>CD-3 CD-4 SD-M</p>
	<p>Fence A planted Frontage wherein the Facade is set back from the Frontage Line and a Fence is used to maintain Thoroughfare spatial definition. This may be used with or without a Porch.</p>	<p>CD-3 CD-4 SD-M</p>
	<p>Terrace/Lightwell A Frontage where the Facade is set back from the Frontage line by an elevated landing and a sunken Lightwell. This type buffers Residential, Retail or Service Uses from urban Sidewalks and allows for activation of below grade space.</p>	<p>CD-4 CD-5 SD-M</p>
	<p>Forecourt A Frontage wherein a portion of the Facade is close to the Frontage Line and the central portion is set back. The Forecourt creates an intimate gathering space for the residents or additional shopping or restaurant seating area within retail and service areas. This type should be used sparingly and may be allocated in conjunction with other Frontage types.</p>	<p>CD-4 CD-5 SD-M</p>
	<p>Stoop A Frontage wherein the Facade is aligned close to the Frontage Line with the first Story elevated from the Sidewalk sufficiently to secure privacy for the windows. The entrance is usually an exterior stair and landing. This type is recommended for ground-floor Residential Use.</p>	<p>CD-4 CD-5 SD-M</p>
	<p>Stepfront A Frontage wherein the Facade is aligned very close to the Frontage Line. The entrance is usually an exterior single step without a landing. This type is recommended for ground-floor Residential or Commercial Use.</p>	<p>CD-4 CD-5 SD-M</p>
	<p>Shopfront A Frontage wherein the Facade is aligned close to or at the Frontage Line with the Building entrance at Sidewalk grade. This type is conventional for Retail Use. It has a substantial glazing on the Sidewalk level and may include an awning that may overlap the sidewalk.</p>	<p>CD-4 CD-5 SD-M</p>

SECTION 720: STANDARDS & REQUIREMENTS

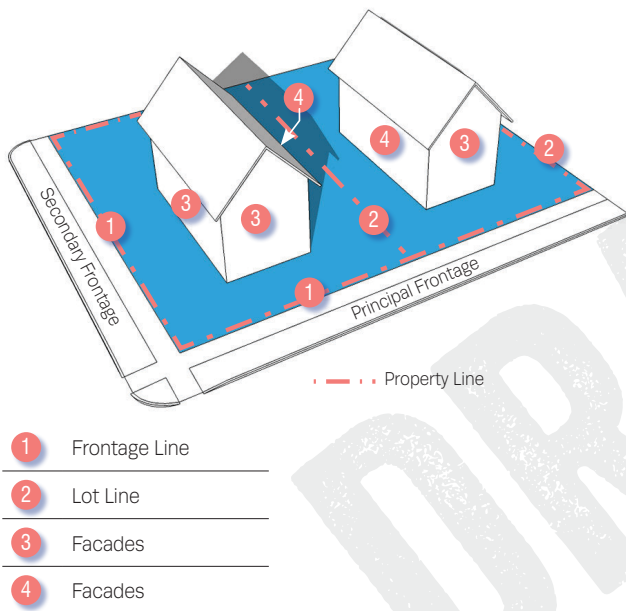
TABLE 720.5.1 PRIVATE FRONTAGE TYPES

Private Frontage Type	Permitted Districts
 <p>Gallery A Frontage wherein the Facade is aligned close to the Frontage line with an attached cantilevered shed or a lightweight colonnade. This type is intended for Buildings with ground floor commercial or retail Uses and the Gallery may be one or two Stories.</p>	<p>CD-4 CD-5</p>
 <p>Arcade A colonnade supporting habitable space where the Frontage Facade is set back from the Frontage line and the arcade meets the sidewalk. An Encroachment Permit must be obtained for any part of the Building which extends into the Public Right-of-Way.</p>	<p>CD-5</p>
 <p>Dooryard A Frontage type where the Frontage Facade of the Building is set back a small distance and the Frontage line is defined by a low wall, decorative Fence or hedge, creating a small Dooryard. The Dooryard shall not provide public circulation along a Right-of-Way. The Dooryard may be raised, sunken, or at grade and is intended for ground-floor Residential.</p>	<p>CD-4 CD-5 SD-M</p>
 <p>Commercial Front A Frontage wherein the Facade is aligned close to or at the Frontage Line with the Building entrance at or above Sidewalk grade. This type is conventional for Office/ Commercial Use. It may have a substantial glazing on the Facade.</p>	<p>CD-4 CD-5 SD-M</p>

720.5.2 Number of Private Frontages.

1. Each Principal Building has a Private Frontage along each abutting Thoroughfare. Lots that abut two (2) Thoroughfares have more than one (1) Private Frontage: (a) one Principal Frontage and (b) one or more Secondary Frontages, depending on the number of Thoroughfares abutted by such Lot. See generally in **Illustration 720.5.2 (Frontage & Lot Lines)**.

ILLUSTRATION 720.5.2 FRONTAGE & LOT LINES



2. For Lots having more than one (1) Private Frontage, each Frontage shall comply with all applicable Frontage requirements; provided that standards for the Second Layer and Third Layer pertain only to the Principal Frontage and prescriptions for the First Layer pertain to both Frontages. See **Illustration 720.3.1 (Layers)**.

3. No Through Lot shall be created after the date this Article VII was adopted.

720.5.3 Building & Ceiling Height; Finished Floor Elevation

1. Building Heights and ceiling heights within each District shall conform to **Table 720.2.1 (District Standards)**; and

2. In calculating the height of a Building, none of the following shall be considered:

- a. Attics under fourteen (14) feet in height at their tallest point;
- b. Raised basements; or
- c. Masts, belfries, clock towers, chimney flues, silos, water tanks, or elevator bulkheads.

3. Building ground finish floor elevation within each District shall conform to **Table 720.2.1 (District Standards)**.

720.5.4 Roof Type & Pitch.

1. Within each District, Building roof type and pitch shall conform to **Table 720.2.1 (District Standards)**.

ILLUSTRATION 720.5.4-A ROOF TYPES

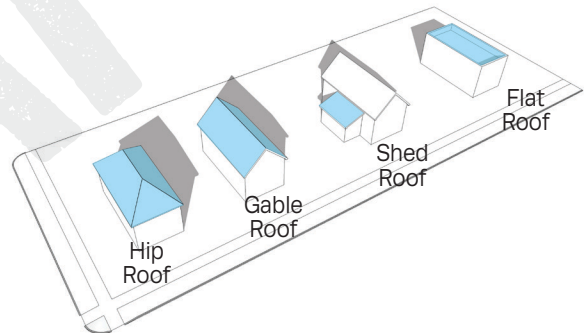
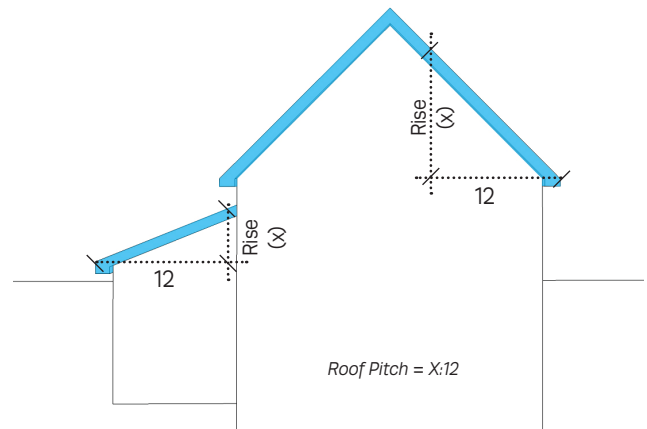


ILLUSTRATION 720.5.4-B ROOF PITCH



SECTION 720: STANDARDS & REQUIREMENTS

720.5.5 Habitable Area of Accessory Dwelling.

The habitable area of an Accessory Dwelling within an Accessory Building shall comply with Sections 1100.8(1) and (2) of the Zoning Ordinance.

720.5.6 Screens and Streetscreens.








1. Any Screen or Streetscreen shall comply with **Table 720.2.1 (District Standards)**.
2. Screens shall have openings no larger than necessary to allow automobile and pedestrian access.
3. Any Streetscreen shall be built on the same plane as the related Building Facade.

720.5.7 Building Types.

Buildings in each District shall be of one or more of the Building Types specified for such District in **Table 720.5.7-A (Building Types – Summary)** and **Table 720.5.7-B (Building Types – Specific Standards)**.






SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.5.7-A BUILDING TYPES – SUMMARY

Building Type		Permitted Districts
	<p>Cottage A detached Building with 400 to 1,000 square feet of interior usable area, having an Edgeward or Sideyard yard type that may be shared with an Accessory Building in the backyard. This Building type typically incorporates a single Residential unit.</p>	<p>CD-3 CD-4 SD-M</p>
	<p>House A detached Building having an Edgeward yard type that may be shared with an Accessory Building in the backyard. This Building type typically incorporates a single Residential unit.</p>	<p>CD-3 CD-4 SD-M</p>
	<p>Duplex A small- to medium-sized Building that consists of two (2) attached units, with separate entrances, at least one of which faces the Thoroughfare. Both of the units, side-by-side, front-to-back or over-and-under, are contained within a single Building massing. This Building type sits on a small- to medium-sized urban Lot having an Edgeward or Sideyard yard type that may be shared with an Accessory Building in the backyard.</p>	<p>CD-3 CD-4 SD-M</p>
	<p>Townhouse A collection of very narrow- to medium-sized attached Buildings with a Rtyard yard type (or Sideyard as an end unit) that consists of side-by-side units with individual entries facing the Thoroughfare. This type shares at least one party wall with another Building of the same type and occupies the full Frontage Line.</p>	<p>CD-4 CD-5 SD-M</p>
	<p>Small Multi-Family Building A Building that incorporates between three (3) and six (6) side-by-side and/or horizontally stacked Dwelling units, typically with one or more shared entries.</p>	<p>CD-4 CD-5 SD-M</p>
	<p>Large Multi-Family Building A Building that incorporates seven (7) to twelve (12) side-by-side and/or horizontally stacked Dwelling units, which may have one or more shared entries.</p>	<p>CD-5</p>
	<p>Live/Work Building A small to medium-sized attached or detached Building that consists of a flexible space used for artisan, studio, Office, or Commercial Uses, and a Residential unit above and/or behind. Both the flex space and the Residential unit are internally connected. This type is appropriate for providing affordable and flexible Mixed Use space for incubating neighborhood-serving Commercial and Office Uses, artists, and other craftspeople.</p>	<p>CD-4 CD-5 SD-M</p>

SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.5.7-A BUILDING TYPES – SUMMARY

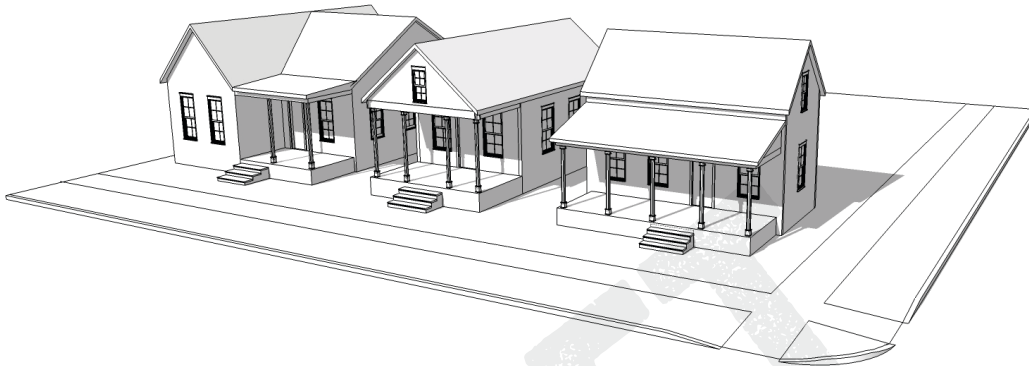
Building Type		Permitted Districts
	<p>Commercial Building A small- to medium-sized attached or detached non-Residential Building, typically designed to facilitate pedestrian-oriented Commercial, Lodging, Artisan Establishment, and Office Uses.</p>	<p>CD-4 CD-5</p>
	<p>Mixed-Use Building A typically attached Building that provides a vertical and/or horizontal mix of Uses typically designed to facilitate pedestrian-oriented Commercial, Lodging, or Office Uses on the ground floor, with upper floors typically designed for Residential or Office Uses.</p>	<p>CD-4 CD-5</p>
	<p>Flex Building A large footprint Building designed to accommodate a single Use or a vertical or horizontal mix of Uses.</p>	<p>CD-4 CD-5 SD-M</p>
	<p>Mid-Rise Building An attached or detached Building that may provide a vertical and/or horizontal mix of Uses, typically designed to facilitate pedestrian-oriented Commercial, Lodging, or Office Uses on the ground floor, with upper floors typically designed for Residential or Office Uses.</p>	<p>CD-5</p>
	<p>Civic Building A medium- to large-sized attached or detached Building designed to stand apart from its surroundings due to the specialized nature of its public or quasi-public function for public assembly and activity. Examples include libraries, churches, courthouses, schools, centers of government, performing arts, and museums. They are often the most prominently sited and architecturally significant Buildings in a community.</p>	<p>CD-3 CD-4 CD-5 SD-M CD-CV</p>

Illustrations are provided for illustrative purposes only.

SECTION 720: STANDARDS & REQUIREMENTS

COTTAGE

TABLE 720.5.7-B BUILDING TYPES
SPECIFIC STANDARDS



Permitted Districts

CD-3 | CD-4 | SD-M

General Description

A detached Building with 400 to 1,000 square feet of interior usable area, having an Edgeyard or Sideyard yard type that may be shared with an Accessory Building in the backyard. This Building type typically incorporates a single Residential unit.

Lot

Width Per District Lot Width

Number of Units

Units per Building 1 max.

Allowed Private Frontages

Common Yard	P
Fence	P
Porch	P
Stoop	P

Building Size and Massing

Height 2 Stories max.

Width Not Regulated

Pedestrian Access

Main Entrance Location Principal Frontage

Vehicle Access and Parking

Parking may be accessed from an Alley, side Street or front Street.

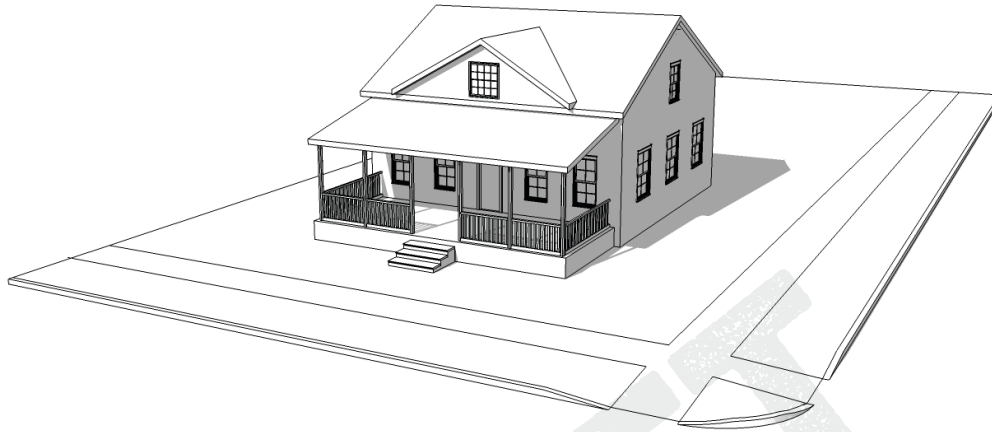
LEGEND

The following notations are utilized in this table.

P Permitted

SECTION 720: STANDARDS & REQUIREMENTS

HOUSE TABLE 720.5.7-B BUILDING TYPES
SPECIFIC STANDARDS



Permitted Districts

CD-3 | **CD-4** | **SD-M**

General Description

A detached Building having an Edgeyard or Sideyard yard type that may be shared with an Accessory Building in the backyard. This Building type typically incorporates a single Residential unit.

Lot

Width Per District Lot Width

Number of Units

Units per Building 1 max.

Allowed Private Frontages

Common Yard	P
Fence	P
Porch	P
Stoop	P

Building Size and Massing

Height 2 Stories max.

Width Not Regulated

Pedestrian Access

Main Entrance Location Principal Frontage

Vehicle Access and Parking

Parking may be accessed from an Alley, side Thoroughfare or front Thoroughfare.

LEGEND

The following notations are utilized in this table.

P Permitted

SECTION 720: STANDARDS & REQUIREMENTS

DUPLEX

**TABLE 720.5.7-B BUILDING TYPES
SPECIFIC STANDARDS**



Permitted Districts

CD-3 | CD-4 | SD-M

General Description

A small- to medium-sized Building that consists of two (2) attached units, with separate entrances, at least one of which faces the Thoroughfare. Both of the units, side-by-side, front-to-back, or over-and-under, are contained within a single Building massing. This Building type sits on a small- to medium-sized urban Lot having an Edgeyard or Sideyard yard type that may be shared with an Accessory Building in the backyard.

Lot

Width Per District Lot Width

Number of Units

Units per Building 1 per each of 2 attached Buildings

Allowed Private Frontages

Common Yard	P
Fence	P
Porch	P
Stoop	P

Building Size and Massing

Height	2 Stories max.
Width	48 ft. max.

Pedestrian Access

Main Entrance Location Principal Frontage

At least one unit must have an individual entry at the Principal Frontage

LEGEND

The following notations are utilized in this table.

P Permitted

SECTION 720: STANDARDS & REQUIREMENTS

TOWNHOUSE TABLE 720.5.7-B BUILDING TYPES SPECIFIC STANDARDS



Permitted Districts

CD-4 | **CD-5** | **SD-M**

General Description

A collection of very narrow- to medium-sized attached Buildings with a Rearyard yard type (or Sideyard as an end unit) that consists of side-by-side units with individual entries facing the Thoroughfare. This type shares at least one party wall with another Building of the same type and occupies the full Frontage Line.

Lot

Width Per District Lot Width

Number of Units

Units per Townhouse	1 max.
Number of Townhouses connected to other Townhouses	4 min., 8 max.

Allowed Private Frontages

Porch	P
Stoop	P
Terrace/Lightwell	P
Dooryard	P

Building Size and Massing

Height	Per District Height Standards
Width	12 ft. min., 36 ft. max. per Townhouse

Pedestrian Access

Main Entrance Location	Principal Frontage
------------------------	--------------------

LEGEND

The following notations are utilized in this table.

P Permitted

SECTION 720: STANDARDS & REQUIREMENTS

SMALL MULTI-FAMILY

TABLE 720.5.7-B BUILDING TYPES
SPECIFIC STANDARDS



Permitted Districts

CD-4 | **CD-5** | **SD-M**

General Description

A Building that incorporates between three (3) and six (6) side-by-side and/or horizontally stacked Dwelling Units, typically with one or more shared entries.

Lot

Width Per District Lot Width

Number of Units

Units per Building 3 min., 6 max.

Allowed Private Frontages

Porch **P**

Stoop **P**

Forecourt **P**

Terrace/Lightwell **P**

Building Size and Massing

Height Per District Height Standards

Width Per District Lot Width and Side Setback Standards

Pedestrian Access

Main Entrance Location Principal Frontage

LEGEND

The following notations are utilized in this table.

P Permitted

SECTION 720: STANDARDS & REQUIREMENTS

LARGE MULTI-FAMILY

TABLE 720.5.7-B BUILDING TYPES
SPECIFIC STANDARDS



Permitted Districts

CD-5

General Description

A Building that incorporates seven (7) to twelve (12) side-by-side and/or horizontally stacked Dwelling Units, which may have one or more shared entries.

Lot

Width Per District Lot Width

Number of Units

Units per Building 7 min., 12 max.

Allowed Private Frontages

Porch	P
Stoop	P
Forecourt	P
Terrace/Lightwell	P

Building Size and Massing

Height	Per District Height Standards
Width	Per District Lot Width and Side Setback Standards

Pedestrian Access

Main Entrance Location	Principal Frontage
------------------------	--------------------

LEGEND

The following notations are utilized in this table.

P Permitted

SECTION 720: STANDARDS & REQUIREMENTS

LIVE/WORK

TABLE 720.5.7-B BUILDING TYPES
SPECIFIC STANDARDS



Permitted Districts

CD-4 | **CD-5** | **SD-M**

General Description

A small- to medium-sized attached or detached Building that consists of a flexible space used for artisan, studio, Office, or Commercial Uses, and a Residential unit above and/or behind. Both the flex space and the Residential unit are internally connected. This type is appropriate for providing affordable and flexible Mixed Use space for incubating neighborhood-serving Commercial and Office Uses, artists, and other craftspeople.

Lot

Width Per District Lot Width

Number of Units

Units per Building 1 Residential unit per 1 flexible space

Allowed Private Frontages

Stoop	P
Terrace/Lightwell	P
Shopfront	P
Commercial front	P

Building Size and Massing

Height	Per District Height Standards
Width	18 ft. min., 36 ft. max.

Pedestrian Access

Main Entrance Location Principal Frontage

LEGEND

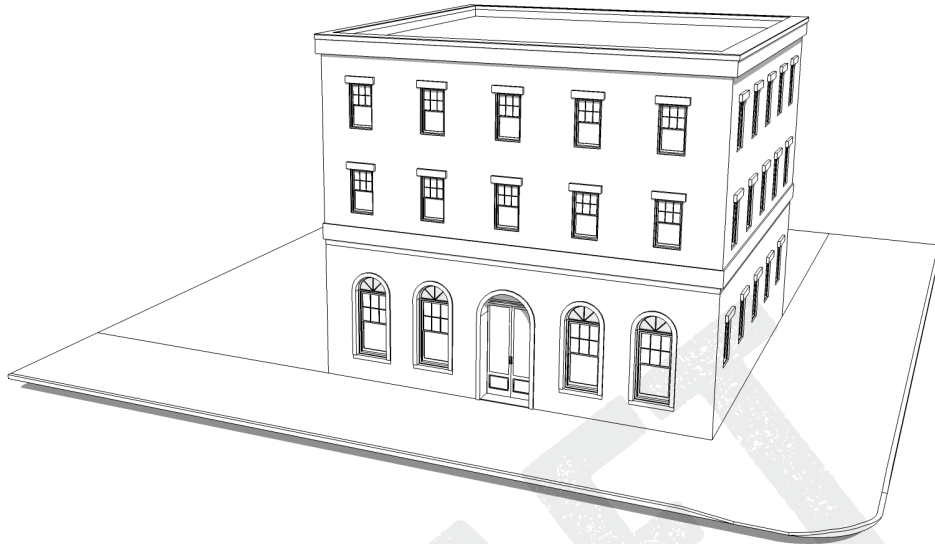
The following notations are utilized in this table.

P Permitted

SECTION 720: STANDARDS & REQUIREMENTS

COMMERCIAL

**TABLE 720.5.7-B BUILDING TYPES
SPECIFIC STANDARDS**



Permitted Districts

CD-4 | CD-5

General Description

A small- to medium-sized attached or detached non-Residential Building, typically designed to facilitate pedestrian-oriented Commercial, Lodging, Artisan Establishment, and Office Uses.

Lot

Width Per District Lot Width

Number of Units

Units per Building Unrestricted, except as may be due to Building Code

Allowed Private Frontages

Stoop	P
Forecourt	P
Terrace/Lightwell	P
Commercial Front	P

Building Size and Massing

Height	Per District Height Standards
Width	Per District Lot Width and Side Setback Standards

Pedestrian Access

Main Entrance Location Principal Frontage

LEGEND

The following notations are utilized in this table.

P Permitted

SECTION 720: STANDARDS & REQUIREMENTS

MIXED USE

TABLE 720.5.7-B BUILDING TYPES
SPECIFIC STANDARDS



Permitted Districts

CD-4 | **CD-5**

General Description

A typically attached Building that provides a vertical and/or horizontal mix of Uses typically designed to facilitate pedestrian-oriented Commercial, Lodging, or Office Uses on the ground floor, with upper floors typically designed for Residential or Office Uses.

Lot

Width Per District Lot Width

Number of Units

Units per Building 2 min., which must accommodate different Principal Uses

Allowed Private Frontages

Stoop	P	Commercial Front	P
Terrace/Lightwell	P	Gallery ¹	P
Shopfront	P	Arcade ¹	P

¹May only be used in conjunction with a Shopfront or Commercial front Frontage type.

Building Size and Massing

Height	2 Stories min.; 3 Stories max. in CD-4, 4 Stories max. in CD-5
Width	Per District Lot Width and Side Setback Standards

Pedestrian Access

Ground Floor Units	Principal Frontage
Upper Floors Units	Principal or Secondary Frontage
Upper floors units must be accessed by a common entry	

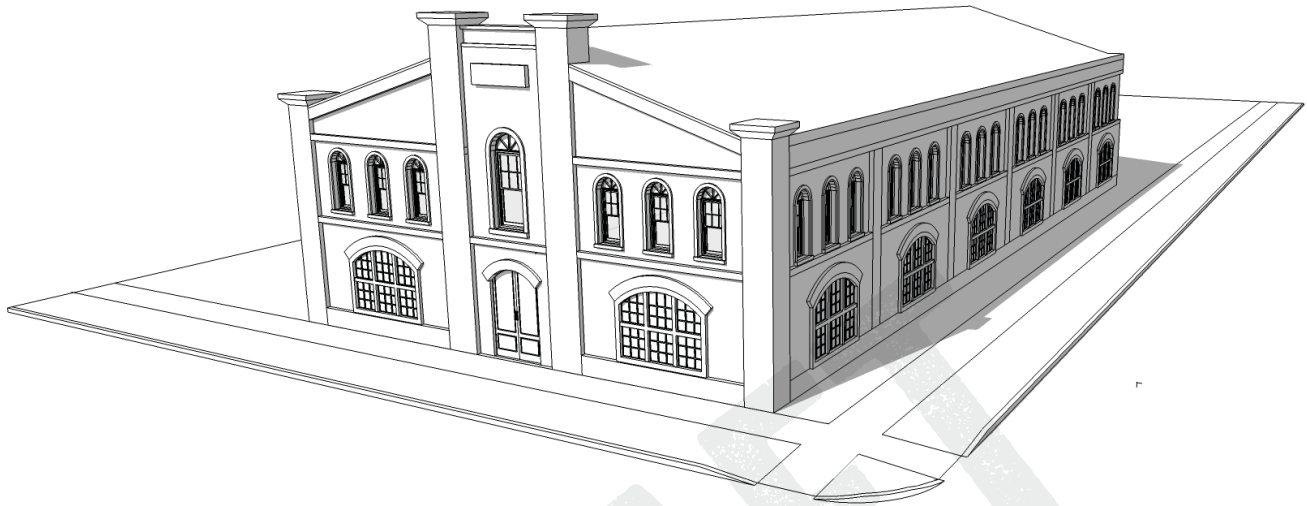
LEGEND

The following notations are utilized in this table.

P Permitted

SECTION 720: STANDARDS & REQUIREMENTS

FLEX TABLE 720.5.7-B BUILDING TYPES
SPECIFIC STANDARDS



Permitted Districts

CD-4 **CD-5** **SD-M**

General Description		Building Size and Massing	
A large footprint Building designed to accommodate a single Use or a vertical or horizontal mix of Uses.		Height	Minimum as prescribed for applicable District; 3 Stories max., except 48 ft. max. in SD-M
Lot		Width	Per District Lot Width and Side Setback Standards
Width	Per District Lot Width	Pedestrian Access	
Number of Units		Main Entrance Location	Principal Frontage
Not Regulated		Allowed Private Frontages	
Stoop	P Commercial front P		
Forecourt	P Gallery ¹ P		
Terrace/Lightwell	P Arcade ¹ P		
Shopfront	P		

¹May only be used in conjunction with a Shopfront or Commercial Front Frontage type.

LEGEND
The following notations are utilized in this table. **P** Permitted

SECTION 720: STANDARDS & REQUIREMENTS

MID-RISE

TABLE 720.5.7-B BUILDING TYPES
SPECIFIC STANDARDS



Permitted Districts

CD-5

General Description

An attached or detached Building that may provide a vertical and/or horizontal mix of Uses, typically designed to facilitate pedestrian-oriented Commercial, Lodging, or Office Uses on the ground floor, with upper floors typically designed for Residential or Office Uses.

Lot

Width Per District Lot Width

Number of Units

Units per Building 2 min., which may be Residential or non-Residential

Allowed Private Frontages

Stoop	P	Commercial front	P
Terrace/Lightwell	P	Gallery¹	P
Shopfront	P	Arcade¹	P

¹May only be used in conjunction with a Shopfront or Commercial Front Frontage type.

Building Size and Massing

Height 4 Stories min.; 5 Stories max.

Width Per District Lot Width and Side Setback Standards

Pedestrian Access

Ground Floor Units Principal Frontage

Upper Floors Units Principal or Secondary Frontage

Upper floors units must be accessed by a common entry

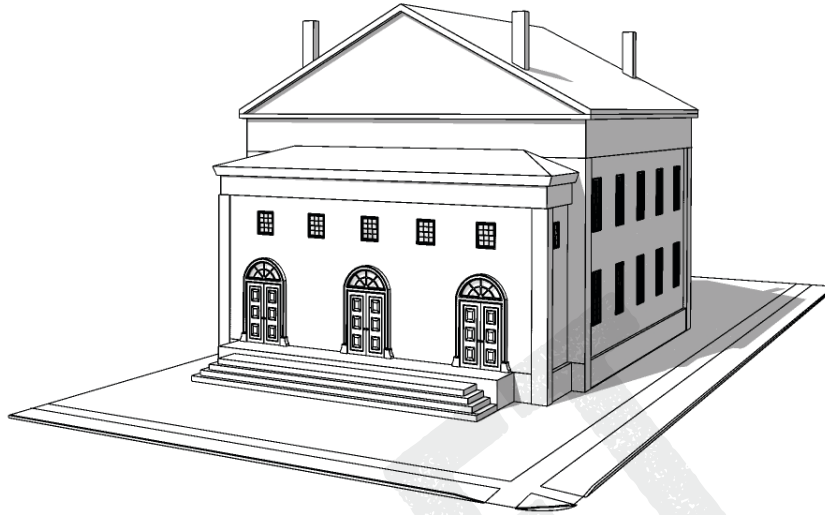
LEGEND

The following notations are utilized in this table.

P Permitted

SECTION 720: STANDARDS & REQUIREMENTS

CIVIC TABLE 720.5.7-B BUILDING TYPES SPECIFIC STANDARDS



Permitted Districts

CD-3 | CD-4 | CD-5 | SD-M | CD-CV

General Description

A medium- to large-sized attached or detached Building designed to stand apart from its surroundings due to the specialized nature of its public or quasi-public function for public assembly and activity. Examples include libraries, churches, courthouses, schools, centers of government, performing arts, and museums. They are often the most prominently sited and architecturally significant Buildings in a community.

The design and form of Civic Buildings shall be determined after consultation with the Planning Department. If the Building is a public Building, after such consultation, the design and form of the building shall be subject to approval of the Planning and Zoning Commission.

Lot

Width Not Applicable

Number of Units

Not Applicable

Building Size and Massing

Height The Height of Civic Buildings shall be limited to 20 additional feet above the maximum allowed Height in any Adjacent District

Width Not Regulated

Pedestrian Access

Except as specifically provided in this Article, Civic Buildings are not subject to the Building & Lot or Private Frontage requirements of this Article.

LEGEND
The following notations are utilized in this table. **P** Permitted

SECTION 720.6 ENCROACHMENTS.

Encroachments of Building Elements into a Setback shall be allowed within each District as set forth in **Table 720.2.1 (District Standards)**.

SECTION 720.7 USES.

720.7.1 Principal Uses.

1. Buildings and Lots in each District shall conform to the Principal Uses specified on **Table 720.7.1 (Permitted Principal Uses)** for such District. Multiple Principal Uses may exist within a Building or Lot.
2. Buildings and Lots in each Civic District shall conform to the applicable Principal Uses specified or referenced in **Table 720.7.1 (Permitted Principal Uses)**.
3. Principal Uses are Permitted as of Right ("P"), Conditional Use Permit Required ("C"), or Not Permitted ("NP") within each District, in each case as indicated in **Table 720.7.1 (Permitted Principal Uses)**.
4. Principal Uses which are indicated in **Table 720.7.1 (Permitted Principal Uses)** as Permitted ("P") or Conditional Use Permit Required ("C") are permitted within each District, subject to compliance with all applicable standards, conditions and requirements thereof and obtaining all applicable approvals and permits therefore, including without limitation in the case of Uses with Conditional Use Permit Required ("C") approval by the Governing Body.

720.7.2 Accessory Uses.

1. Buildings and Lots in each District shall conform to the Accessory Uses specified on **Table 720.7.2 (Permitted Accessory Uses)** for such District.
2. Accessory Uses that are subordinate and incidental to a permitted Principal Use and are indicated in **Table 720.7.2 (Permitted Accessory**

Uses) for the applicable District as Permitted ("P") or Conditional Use Permit Required ("C") are permitted to the extent indicated in **Table 720.7.2 (Permitted Accessory Uses)**, subject to compliance with all applicable standards, conditions and requirements thereof and obtaining all applicable approvals and permits therefore.

3. Any Accessory Use that is indicated as Not Permitted ("NP") in such Table is prohibited.

720.7.3 Temporary Uses.

1. Buildings and Lots in each District shall conform to the Temporary Uses specified on **Table 720.7.3 (Permitted Temporary Uses)** for such District.
2. Temporary Uses that are indicated in **Table 720.7.3 (Permitted Temporary Uses)** as Permitted ("P") or Conditional Use Permit Required ("C") are permitted to the extent indicated in **Table 720.7.3 (Permitted Temporary Uses)**, subject to compliance with all applicable standards, conditions and requirements thereof and obtaining all applicable approvals and permits therefore.
3. Any Temporary Use that is indicated as Not Permitted ("NP") in such Table is prohibited.

720.7.4 Prohibited Uses.

Except as otherwise determined by the Code Enforcement Officer with respect to a Use that is not specifically listed as Permitted ("P") or Conditional Use Permit Required ("C") in **Table 720.7.1 (Permitted Principal Uses)** any Use that is not specifically listed as Permitted ("P") or Conditional Use Permit Required ("C") and any Use that is specifically listed Not Permitted ("NP") in such applicable Table or is otherwise prohibited pursuant to any provision of the City Zoning Ordinance, is prohibited.

SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.7.1 PRINCIPAL USES

PRINCIPAL USE	CD-3	CD-4	CD-5	SD-M	CD-CV
RESIDENTIAL					
Manufactured Home or Manufactured Home Park	NP	NP	NP	NP	NP
Multi-Family Attached Residential or Assisted Living Apartment in Large Multi-Family Building	NP	NP	P	NP	NP
Multi-Family Attached Residential or Assisted Living Apartment in Small Multi-Family Building	NP	P	P	C	NP
Personal Care Home, Family, Group, or Congregate	C	C	NP	C	NP
Residential Portion of Live/Work, Mixed Use, or Flex Building	NP	P	P	P <small>for Live/Work & Flex Building Types only</small>	NP
Single-Family Attached Residential Dwelling in Townhouse	NP	P	P	P	NP
Single-Family Detached Residential Dwelling in House or Cottage	P	P	NP	P	NP
Two-Family Attached Residential Dwellings in Duplex	P	P	NP	P	NP
Other Residential Use not listed under any Use Category	NP	NP	NP	NP	NP
COMMERCIAL					
Administrative & Information Service Facility	NP	P	NP	NP	NP
Alcoholic Beverage Retail Sales	NP	C	C	NP	NP
Animal Clinic and Specialty Services	NP	P	NP	NP	NP
Animal Hospitals	NP	P	NP	NP	NP
Animal / Pet Supply Store (including Sale of Pets)	NP	P	P	P	NP
Art Gallery	NP	P	P	P	NP
Art or Craftsman Studio	NP	P	P	P	NP
Artisan Establishment	NP	P	P	P	NP
Audio / Video / Computer Equipment Sales, Rental, and / or Repair	NP	P	P	P	NP

LEGEND The following notations are utilized in this table.	
P	Permitted by Right
C	Conditional Use Permit required. All other applicable requirements also must be met.
NP	Not Permitted
NR	Not Regulated

SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.7.1 PRINCIPAL USES

PRINCIPAL USE	CD-3	CD-4	CD-5	SD-M	CD-CV
Brew Pub	NP	P	P	P	NP
Business Service Establishment	NP	P	P	P	NP
Campground	NP	NP	NP	NP	NP
Catering Establishment	NP	P	P	NP	NP
Child-Care Center	P	P	P	P	NP
Equipment (small and large) Sales, Service, and / or Rental	NP	NP	NP	NP	NP
Financial Institution / Financial Services with or without ATM or Drive-Through	NP	P	P	P	NP
General Retail	NP	P	P	P	NP
Greenhouse and Plant Nursery	NP	NP	NP	NP	NP
Gymnasium, Health / Fitness Center (Commercial)	NP	P	P	P	NP
Health Care Facility (Commercial)	NP	P	P	P	NP
Lawn & Garden Center	NP	P	NP	NP	NP
Manufactured Home Sales	NP	NP	NP	NP	NP
Micro-Brewery or Micro-Distillery	NP	P	P	P	NP
Open Market (Commercial)	NP	P	P	P	NP
Outdoor Storage	NP	NP	NP	NP	NP
Parking Lot (Commercial)	NP	P	P	P	NP
Parking Structure (Commercial)	NP	P	P	NP	NP
Pawn Shop / Pawn Broker	NP	P	NP	P	NP
Personal Service Establishment	NP	P	P	P	NP
Pest Control Services	NP	NP	NP	NP	NP
Restaurant with Drive-in or Drive-Through Service ¹	NP	P	NP	NP	NP

LEGEND	
The following notations are utilized in this table.	
P	Permitted by Right
C	Conditional Use Permit required. All other applicable requirements also must be met.
NP	Not Permitted
NR	Not Regulated

¹Must meet applicable licensing requirements regarding pouring of Alcoholic Beverages. See Code of Ordinances, Chapter 6.

SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.7.1 PRINCIPAL USES

PRINCIPAL USE	CD-3	CD-4	CD-5	SD-M	CD-CV
Restaurant with Walk-up or Walk-away Service ¹	NP	P	P	P	NP
Restaurant without Drive-in or Drive-Through Service ¹	NP	P	P	P	NP
Scrap Handling Service	NP	NP	NP	NP	NP
Sewer / Septic Tank Services	NP	NP	NP	NP	NP
Vending Supply Service	NP	NP	NP	NP	NP
Undertaking, Mortuary, and / or Funeral Home	NP	NP	NP	NP	NP
Other Commercial Use not listed under any Use Category	NP	NP	NP	NP	NP
AGRICULTURAL					
Animals – Horses and Stables	NP	NP	NP	NP	NP
Animals – Cows, Sheep, Goats, Chickens	NP	NP	NP	NP	NP
Farming, General Practice	NP	NP	NP	NP	NP
Greenhouse, Plant Nursery, Food Production, or Floriculture Production (including Wholesale Sales)	NP	NP	NP	NP	NP
Nut / Fruit Tree Harvesting	NP	NP	NP	NP	NP
Silviculture / Timber Harvesting	NP	NP	NP	NP	NP
Other Agricultural Use not listed under any Use Category	NP	NP	NP	NP	NP
AMUSEMENT & ENTERTAINMENT					
Adult Entertainment Establishment	NP	NP	NP	NP	NP
Archery Range or Firing Range	NP	NP	NP	NP	NP
Game Center	NP	P	P	NP	NP
Indoor Batting Cage / Training Facility	NP	NP	NP	P	NP
Miniature Golf	NP	NP	NP	NP	NP
Neighborhood Activity Center ¹	C	C	C	C	NP

LEGEND The following notations are utilized in this table.

P	Permitted by Right
C	Conditional Use Permit required. All other applicable requirements also must be met.
NP	Not Permitted
NR	Not Regulated

¹Must meet applicable licensing requirements regarding pouring of Alcoholic Beverages. See Code of Ordinances, Chapter 6.

SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.7.1 PRINCIPAL USES

PRINCIPAL USE	CD-3	CD-4	CD-5	SD-M	CD-CV
Play Center, Skating Rink, or Bowling Alley	NP	P	P	NP	NP
Theater	NP	P	P	NP	NP
Outdoor Theater, excluding Drive-In Theater	NP	C	C	NP	NP
Other Amusement & Entertainment Use not listed under any Use Category	NP	NP	NP	NP	NP
INSTITUTIONAL					
Convalescent Care Facility, Long Term Care Facility, or Skilled Nursing Home	NP	C	NP	C	NP
Health Care Facility (Non-Commercial) ²	NP	C	NP	NP	NP
Hospital	NP	P	NP	NP	NP
Sanitarium or Mental Institution	NP	NP	NP	NP	NP
Other Institutional Use not listed under any Use Category	NP	NP	NP	NP	NP
EDUCATIONAL					
College or University, including Community College	NP	P	P	NP	P
School	P	P	P	P	P
School Program (Day-, Pre- or Post-)	P	P	P	P	P
Small Scale Instruction	NP	P	P	P	P
Studio for Teaching Fine Arts, Photography, Music, Drama, Dance, Martial Arts	NP	P	P	P	NP
Trade / Technical School	NP	P	P	P	P
Other Educational Use not listed under any Use category	NP	P	P	NP	P
INDUSTRIAL					
Building Supply Store, Wholesale	NP	NP	NP	NP	NP
Contractor / Developer Offices with Facilities	NP	NP	NP	NP	NP
Gravestone and Burial Vault, Sales and Storage	NP	NP	NP	NP	NP
Hazardous Materials Storage	NP	NP	NP	NP	NP

LEGEND The following notations are utilized in this table.

P	Permitted by Right
C	Conditional Use Permit required. All other applicable requirements also must be met.
NP	Not Permitted
NR	Not Regulated

²Must meet applicable licensing requirements.

SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.7.1 PRINCIPAL USES

PRINCIPAL USE	CD-3	CD-4	CD-5	SD-M	CD-CV
Heavy Industrial / Heavy Manufacturing	NP	NP	NP	NP	NP
Laboratory	NP	NP	NP	NP	NP
Landscape / Irrigation Service, Timber Harvesting Service, or Tree Surgery Service	NP	NP	NP	NP	NP
Laundry or Dry Cleaning Plant	NP	NP	NP	NP	NP
Light Industrial / Light Manufacturing	NP	NP	NP	P	NP
Self-Service Storage Facility	NP	NP	NP	NP	NP
Warehousing, excluding Self-Service Storage Facility	NP	NP	NP	NP	NP
Wholesale Sales / Distribution	NP	NP	NP	NP	NP
Other Industrial Use not listed under any Use Category	NP	NP	NP	NP	NP
LODGING					
Hotel	NP	P	P	NP	NP
Bed and Breakfast Inn (B&B Inn)	P	P	P	NP	NP
Motel	NP	NP	NP	NP	NP
Other Lodging Use not listed under any Use category	NP	NP	NP	NP	NP
VEHICULAR					
Fuel Sales (Passenger Vehicle, Retail)	NP	C	NP	NP	NP
Fueling Station (Heavy Truck, RV, or Heavy Equipment)	NP	NP	NP	NP	NP
General Service / Maintenance / Installation of Parts / Accessories (Heavy Truck, RV, or Heavy Equipment)	NP	NP	NP	NP	NP
General Service / Maintenance / Installation of Parts / Accessories (Passenger Vehicle)	NP	NP	NP	NP	NP
New or Used Sales or Rental (Heavy Truck, RV, or Heavy Equipment)	NP	NP	NP	NP	NP
New or Used Sales or Rental (Passenger Vehicle)	NP	NP	NP	NP	NP
Parts / Accessories / Tire Sales (Heavy Truck, RV, or Heavy Equipment)	NP	NP	NP	NP	NP

LEGEND The following notations are utilized in this table.

P	Permitted by Right
C	Conditional Use Permit required. All other applicable requirements also must be met.
NP	Not Permitted
NR	Not Regulated

SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.7.1 PRINCIPAL USES

PRINCIPAL USE	CD-3	CD-4	CD-5	SD-M	CD-CV
Parts / Accessories Sales (Passenger Vehicles)	NP	NP	NP	NP	NP
Passenger Vehicle Wash, Full- or Self-Service	NP	NP	NP	NP	NP
Terminal, Motor Freight	NP	NP	NP	NP	NP
Tire Sales (Passenger Vehicles)	NP	NP	NP	NP	NP
Truck Stop / Travel Plaza	NP	NP	NP	NP	NP
Truck Wash, Full- or Self-Service	NP	NP	NP	NP	NP
Vehicle Body Repair, Painting, Welding or Fabrication	NP	NP	NP	NP	NP
Vehicle Storage Yard	NP	NP	NP	NP	NP
Wrecker and/or Towing Service	NP	NP	NP	NP	NP
Other Vehicular Use not listed under any Use Category	NP	NP	NP	NP	NP
TRANSPORTATION					
Administrative Office / Dispatch	NP	P	P	NP	P
Airport	NP	NP	NP	NP	NP
Bus Shelter	P	P	P	P	P
Freight Business or Truck Depot	NP	NP	NP	NP	NP
Public Transportation Station / Terminal	NP	P	P	P	NP
Shipping, Packaging, & Delivery Establishment (other than Customer Service Shops)	NP	NP	NP	NP	NP
Other Transportation Use not listed under any Use Category	NP	NP	NP	NP	NP
OFFICE					
Contractor / Developer Office (without Facilities)	NP	P	P	P	NP
General Office	NP	P	P	P	NP
Medical Office or Professional Office	NP	P	P	P	NP

LEGEND The following notations are utilized in this table.	
P	Permitted by Right
C	Conditional Use Permit required. All other applicable requirements also must be met.
NP	Not Permitted
NR	Not Regulated

SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.7.1 PRINCIPAL USES

PRINCIPAL USE	CD-3	CD-4	CD-5	SD-M	CD-CV
Other Office Use not listed under any Use Category	NP	P	P	P	NP
CIVIC					
Ambulance / Emergency Medical Service Station (Non-Commercial)	NP	NP	P	P	P
Cemetery ³	NP	NP	NP	NP	P
Civic Space Type – Community Garden	P	P	P	P	P
Civic Space Type – Green	P	P	P	P	P
Civic Space Type – Natural Area	NP	NP	NP	NP	P
Civic Space Type – Playground	P	P	P	P	P
Civic Space Type – Plaza	NP	P	P	P	P
Civic Space Type – Pocket Park	P	P	P	P	P
Civic Space Type – Sports Field or Court	P	NP	NP	P	P
Civic Space Type – Square	NP	P	P	P	P
Community Association / Club	NP	P	P	P	P
Community Center	P	P	P	P	P
Conference Center or Convention Hall	NP	NP	NP	NP	P
Cultural Facility	NP	P	P	P	P
Day Care Center (Non-Commercial)	NP	P	P	P	P
Display Gallery (Non-Commercial)	NP	P	P	P	P
Exhibition Center (Non-Commercial)	NP	P	P	P	P
Fire Station	P	P	P	P	P
Fountain or Public Art	NP	P	P	P	P

LEGEND The following notations are utilized in this table.	
P	Permitted by Right
C	Conditional Use Permit required. All other applicable requirements also must be met.
NP	Not Permitted
NR	Not Regulated

³For additional requirements, see Section 1120: (1) Cemeteries, where permitted, are conditional uses requiring a public hearing prior to approval in accordance with Section 1525; (2) The site shall not interfere with Development of collector or larger streets in the vicinity of such site, and the site shall have direct access to a public street; (3) Any new cemetery shall contain not less than ten (10) acres; (4) All structures shall be set back no less than fifty (50) feet from any property line; (5) All graves or burial lots shall be set back not less than fifty (50) feet from any minor street right-of-way lines and not less than seventy-five (75) feet from any collector, arterial, or highway right-of-way line; (6) The entire cemetery shall be landscaped and maintained in accordance with Section 550.

SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.7.1 PRINCIPAL USES

PRINCIPAL USE	CD-3	CD-4	CD-5	SD-M	CD-CV
Library	P	P	P	P	P
Live Theater (Non-Commercial)	NP	P	P	P	P
Movie Theater (Non-Commercial)	NP	P	P	P	P
Museum (Non-Commercial)	NP	P	P	P	P
Open Market (Non-Commercial)	NP	P	P	P	P
Parking Lot or Parking Structure (Non-Commercial) ⁴	NP	C	P	C	C
Place of Assembly (Non-Commercial)	P	P	P	P	P
Police Station	P	P	P	P	P
Other Civic Use not listed under any Use Category	P	P	P	P	P
UTILITIES AND AREA SERVICE PROVIDER FACILITIES					
Garbage or Trash Collection Services	NP	NP	NP	NP	NP
Landfill, Incinerator, or Dump	NP	NP	NP	NP	NP
Natural Gas or Power Generation, Transmission, or Distribution Facility	NP	NP	NP	NP	NP
Recycling Center or Recycling Collection Services	NP	NP	NP	NP	NP
Sewage Treatment Facility	NP	NP	NP	NP	NP
Telecommunication, Wireless, or Cellular Facility, Tower / Antenna	NP	NP	NP	NP	NP
Utility Structure, Transformer, Substation, and Tower ⁵	P	P	P	P	P
Water Treatment / Supply Facility	NP	NP	NP	NP	NP
Other Utility and Area Service Provider Facilities Use not listed under any Use category	NP	NP	NP	NP	NP

LEGEND The following notations are utilized in this table.	
P	Permitted by Right
C	Conditional Use Permit required. All other applicable requirements also must be met.
NP	Not Permitted
NR	Not Regulated

⁴Subject to Section 550 (Screening) and Section 520 (Off Street Automobile Parking).

⁵Unmanned utility structures and substations, excluding towers, provided that such structures are screened in accordance with Section 550. No on-site storage of equipment is permitted.

SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.7.2 ACCESSORY USES

ACCESSORY USE	CD-3	CD-4	CD-5	SD-M	CD-CV
Accessory Dwelling (Accessory to Residential Principal Use) ⁶	P	P	P	P	NP
Accessory Structure	P	P	P	P	P
Animals – Horses and Stables ⁷	NP	NP	NP	NP	NP
Animals – Cows, Sheep, Goats, Chickens ⁸	NP	NP	NP	NP	NP
Bed and Breakfast (B&B) (Accessory to Residential Principal Use) ⁹	C	C	NP	NP	NP
Child-care in Home (Accessory to Residential Principal Use)	C	C	C	C	NP
Hazardous Materials Storage	NP	NP	NP	NP	NP
Home Occupation (Accessory to Residential Principal Use) ¹⁰	C	P	P	P	NP
Household Pets (Accessory to Residential Principal Use)	P	P	P	P	NP
Outdoor Dining (Accessory to Restaurant or Hotel Principal Use) ¹¹	NP	P	P	P	NP
Outdoor Display	NP	NP	NP	NP	NP
Outdoor Storage	NP	NP	NP	NP	NP
Parking Area	P	P	P	P	P
Produce Stand (Accessory to Farm, General Practice Principal Use) ¹²	NP	NP	NP	NP	NP
Swimming Pool	P	P	P	NP	NP
Telecommunication, Wireless, or Cellular Tower / Antenna	C	C	C	C	C
Other Uses that are Subordinate and Customarily Incidental to a Permitted Principal Use	C	C	C	C	C

LEGEND The following notations are utilized in this table.	
P	Permitted by Right
C	Conditional Use Permit required. All other applicable requirements also must be met.
NP	Not Permitted
NR	Not Regulated

⁶Subject to Subsection 1100.8 (2) (Residential – Accessory Apartments and Accessory Dwellings).

⁷Limited to one horse per acre of Fenced area on the same lot as a principal dwelling, not to exceed a maximum of four horses per lot; one stable having no more than four stalls, with no stall exceeding two hundred (200) square feet in area. Stables are considered accessory buildings and shall meet Section 1100.1.

⁸Non-commercial keeping of these animals only on a lot of a minimum of two acres with no more than: one cow per four acres, one sheep or goat per acre, and three chickens per acre.

⁹See Code of Ordinances 22:146–255 (Bed & Breakfast Inns).

¹⁰Subject to Subsection 1100.3 (Home Occupations).

¹¹Any sidewalk dining must leave clear a minimum of 4' for pedestrians.

¹²Selling only products grown or produced on site.

SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.7.3 TEMPORARY USES

TEMPORARY USE	CD-3	CD-4	CD-5	SD-M	CD-CV
Construction Office Trailer, until Development Completion	P	P	P	P	P
New Development or Subdivision Sales & Management Office, until Development Completion	P	P	P	P	NP
Portable Storage Container ¹³	P	P	P	P	NP
Seasonal Uses for Forty-Five (45) Days or Less	P	P	P	P	P
Tag / Garage / Yard Sale	P	P	P	P	NP
Temporary Event ¹⁴	P	P	P	P	NP
Temporary Structure not in a Parking Lot or Parking Area ¹⁵	P	P	P	P	P
Temporary Structure in a Parking Lot or Parking Area ¹⁶	P	P	P	P	P
Trailers in Third Layer for Storage of Goods Associated with Commercial Principal Use, for Up to 6 Months with Possible Extension to 12 Months	NP	P	P	P	NP
Uses for Unusual Non-Recurrent Events for Forty-Five (45) Days or Less	P	P	P	P	P

LEGEND	
The following notations are utilized in this table.	
P	Permitted by Right
C	Conditional Use Permit required. All other applicable requirements also must be met.
NP	Not Permitted
NR	Not Regulated

¹³Container must not exceed 8' tall or 160 square feet. Container shall not remain on a lot for more than 1 month. No more than one container may be located on a lot.

¹⁴Event must not be more than one month in duration and shall not be permitted for more than 1 month.

¹⁵Subject to Subsection 1100.9 (3). Structure must not exceed 8' tall or 160 square feet. Structure shall not be permitted or remain on the lot for more than 1 month. No more than 1 Structure may be on any lot.

¹⁶Subject to Subsection 1100.9 (4). Structure must not exceed 8' tall or 160 square feet. Structure shall not be permitted or remain on the lot for more than 1 month. No more than 1 Structure may be on any lot.

SECTION 720: STANDARDS & REQUIREMENTS

SECTION 720.8

PARKING.

720.8.1 General.

Within each District, all Parking Areas, Parking Structures, Parking Lots, Garages, and other parking accommodations shall be provided, located, designed, accessed, constructed, maintained, operated, and otherwise meet the standards and requirements specified for the applicable District in **Table 720.2.1 (District Standards)** and **Table 720.8.2 (Vehicular Parking Requirements)**.

720.8.2 Parking Spaces Required.

1. Vehicular Parking shall be provided in accordance with this Section 720.8 and **Table 720.8.2 (Vehicular Parking Requirements)**, and shall comply with and be located in accordance with **Table 720.2.1 (District Standards)**.

TABLE 720.8.2 VEHICULAR PARKING REQUIREMENTS

Principal Use Category	Number of Required Parking Spaces				
	CD-3	CD-4	CD-5	SD-M	CD-CV
Residential	2 per Dwelling	1.5 per Dwelling	1 per Dwelling	To be determined by applicable Decision-Making Authority	NA
Lodging	1 per bedroom	1 per bedroom	1 per bedroom	NA	NA
Office	NA	2/1,000 sq ft	Not Regulated	To be determined by applicable Decision-Making Authority	NA
Commercial	NA	3/1,000 sq ft	Not Regulated	To be determined by applicable Decision-Making Authority	NA
Civic	To be determined by Governing Body				
Other	To be determined by Governing Body				

2. Vehicular Parking required to be available for each Lot shall be determined based on the quantity of Principal Use(s) of the Lot and the number of spaces available to the Lot, as determined by this Section 720.8 and **Table 720.8.2 (Vehicular Parking Requirements)**, with any fractional spaces being

rounded down to the nearest whole number.

3. The number of spaces of parking available to a Lot is the sum of

- a. All spaces within the Lot,
- b. All spaces Adjacent to the Frontage Line on the same side of the Thoroughfare as the Lot, and
- c. If elected by the Applicant, all spaces within the same or an Adjacent Block within a public Parking Lot or Parking Structure, or by a recorded parking agreement, or Easement.

4. The number of spaces of parking available to a Lot must not be less than, nor more than 10% greater than, the number of spaces of parking determined by **Table 720.8.2 (Vehicular Parking Requirements)** based on the quantity of Principal Use(s) on the Lot, provided that the minimum number of spaces may be reduced pursuant to Section 720.8.

5. In determining compliance with this Section 720.8.2, the following shall not be counted:

- a. Accessory Dwelling Units; and
- b. Liner Buildings fewer than 30 feet deep and no more than two (2) Stories.

720.8.3 Parking Reductions.

For purposes of this Section 720.8, the number of Parking spaces required to be available to a Lot may be reduced, at the election of the Applicant, as follows:

1. By dividing the number of spaces of parking required to be available to the Lot by the applicable Shared Parking Factor. The applicable Shared Parking Factor is determined under **Table 720.8.3.1 (Shared Parking Factor)** for any two (2) Principal Uses within the Lot or within the Lot and any other Lot within the same or any Adjacent Block.

SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.8.3.1 SHARED PARKING FACTOR

USE	with		USE	
Residential				Residential
Lodging				Lodging
Office		1	1	Office
Commercial	1.4	1.1	1.1	1.4
	1.2	1.7	1.7	1.2
	1.3	1	1	1.3
	1.2	1.2	1.2	1.2
		1		

2. The total number of parking spaces required to be available to a Lot may be further reduced by the following percentages in accordance with the following, which may be applied in any combination:

- a. Proximity to Public Transit.
 - (1) By seventy-five (75) percent if any portion of the Lot is within 500 feet of a Railroad Station;
 - (2) By fifty (50) percent if any portion of the Lot is within ¼ mile of a Railroad Station;
- b. Bicycle Parking.
 - (1) By one (1) parking space for every five (5) bicycle parking spaces provided on the Lot;
 - (2) By five (5) parking spaces for every indoor bicycle parking storage area for ten (10) or more bicycles.
- c. Car-Share Parking Spaces.
 - (1) By three (3) parking spaces for each Car-Share parking space available to the Lot, up to a maximum reduction of twelve (12).

720.8.4 Parking Location.

Within each District, all Parking Areas, Parking Lots, Parking Structures, and Garages shall be located as specified for the applicable District in **Table 720.2.1 (District Standards)**.

720.8.5 Vehicular Access.

1. Vehicular access to Parking Areas and Parking Lots shall be direct and not in conflict with general vehicular movement serving a site.
2. Parking locations shall be accessed by Alleys when such are available on the applicable Plan or otherwise available.

720.8.6 Vehicular Entrances & Exits.

Vehicular entrances and exits to Parking Areas, Parking Lots, and Parking Structures shall be designed to be easily identifiable by drivers and pedestrians. Any signage shall be simple, clear, and concise. Any gates, arms, or booths shall be set back at least 20 feet from the Facades of Adjacent Buildings.

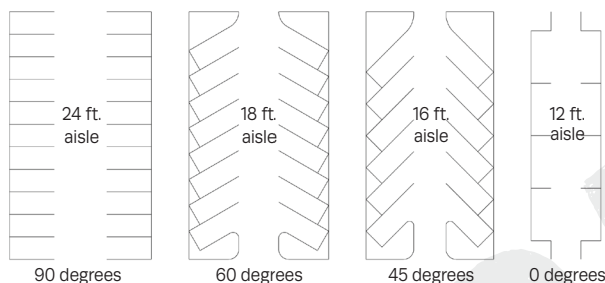
720.8.7 Design.

1. In all Districts, Parking Lots shall be designed in accordance with this Section 720.8.7 and other applicable provisions of this Section 720.
2. Except as otherwise provided for compact vehicle parking accommodations under Section 720.8.7.3, the dimensional standards set forth in **Table 720.8.7.2 (Off-Street Vehicular Parking Space Dimensions)** are applicable to off-street parking accommodations.

SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.8.7.2 OFF-STREET VEHICULAR PARKING SPACE DIMENSIONS

Parking Angle (degrees)	Stall Width	Minimum Stall Length	Aisle Width
0	8 ft.	21 ft.	12 ft.
30 - 53	8 ft. - 9 ft.	18 ft. except 19 ft. if Adjacent to Curb	16 ft.
54 - 74	8 ft. - 9 ft.	18 ft. except 19 ft. if Adjacent to Curb	18 ft.
75 - 90	8 ft. - 9 ft.	18 ft. except 19 ft. if Adjacent to Curb	24 ft.



3. Any compact car spaces must be separately signed and marked in distinct, separate areas. The dimensional requirements for compact car spaces area as set forth in **Table 720.8.7.3 (Off-Street Compact Vehicle Parking Space Dimensions)**:

TABLE 720.8.7.3 OFF-STREET COMPACT VEHICLE PARKING SPACE DIMENSIONS

Parking Angle (degrees)	Space Width	Length of Space	Aisle Width
0	7.5 ft.	---	---
45	7.5 ft.	17 ft.	12 ft.
60	7.5 ft.	18 ft.	15 ft.
90	7.5 ft.	16 ft.	21 ft.

4. Any ramps leading from a Thoroughfare to a Parking Lot, Parking Area, Garage, or Parking Structure shall be at least twenty (20) feet wide for two-way traffic and ten (10) feet wide for one-way traffic.

5. Curbs must be made of granite or concrete at heights between six (6) inches and eight (8) inches above the elevation of the Thoroughfare and must be

at least six (6) inches wide.

6. Curb cuts must be at least twenty (20) feet wide for two-way access and ten (10) feet wide for one-way access. Except as otherwise expressly provided in this Zoning Ordinance with respect to numbers of Driveways, Lots shall be limited to one Curb cut per Lot.

7. Unless alternative parking surfaces are otherwise permitted by this Zoning Ordinance, all off-street Parking Areas and Parking Lots shall be surfaced with asphalt or concrete. Asphalt Parking Areas and Parking Lots shall be compacted after sub-grade with a minimum of six (6) inch stone base, a minimum two (2) inches of modified asphalt binder, and a minimum one and one-half (1.5) inches of asphalt mix topping and must follow the construction detail provided below. Concrete Parking Areas and Parking Lots shall be constructed according to recognized construction standards. Construction Plans for all Parking Areas and Parking Lots shall be subject to review and approval by the Streets and Transportation Department. All parking accommodations counted toward the applicable parking requirements shall be paved and completed prior to issuance of the Final Certificate of Occupancy for the related Building(s).

8. Any Parking Area or Parking Lot having ten (10) or more spaces shall include Curbs, paving, Sidewalks, drainage facilities and lighting in accordance with this Zoning Ordinance and all other applicable laws, regulations, and specifications.

9. The maximum grade permitted for any required parking shall not exceed 8%.

10. Except in District CD-3, all off-street parking spaces shall be striped with paint or some other form of permanent marking.

11. All access to any City street from a Driveway shall have a concrete Driveway apron as approved by the City Streets and Transportation Department.

SECTION 720: STANDARDS & REQUIREMENTS

12. Any Parking Area or Parking Lot having ten (10) or more parking spaces shall conform to the following:

a. Parking Areas and Parking Lots shall contain at least one (1) landscape island for every ten (10) parking spaces. Parking Lots with more than one (1) landscape island shall have such islands distributed throughout the Parking Lot.

b. Interior parking rows shall be terminated at both ends with landscape islands.

c. Each parking island shall be a minimum size equal to a standard parking space; provided that each parking island abutting two (2) rows of head to head parking spaces shall be a minimum size and length equal to two (2) parking spaces.

d. Parking islands shall contain a minimum of one (1) shade tree for every single island. If a parking island is double length or width, then two (2) shade trees shall be required.

e. Rows of parking fronting on drive aisles including Alleys shall be provided with a minimum five (5) feet (excluding Curbs) landscape buffer.

f. Root zones for existing trees to remain shall be a minimum of forty-eight (48) square feet.

g. For every two-thousand (2,000) square feet of Parking Area or Parking Lot, at least one (1) tree shall be installed or preserved within the Parking Area or Parking Lot except to the extent that trees outside of the Lot containing the Parking Area or Parking Lot are allowed to satisfy this requirement as set forth below.

h. No parking space shall be more than seventy-two (72) feet from a tree within the Lot, as measured from the center of the tree to the nearest line demarcating the space.

i. Except for trees allowed to be counted outside the Parking Area or Parking Lot, new trees shall be installed and/or existing trees preserved in tree islands provided pursuant to this Section and/or at the perimeter of the Parking Area or Parking Lot, provided that the perimeter of the Parking Area or

Parking Lot where trees are installed or preserved to meet this requirement lies within the Lot on which the Parking Area or Parking Lot is located.

j. Trees outside of the Parking Area or Parking Lot located within twenty (20) feet of the closest portion of such Parking Area or Parking Lot, including but not limited to trees within Thoroughfare rights-of-way and Civic Spaces, may be counted toward satisfying the requirements.

k. In addition to any walkway or Sidewalk around a Parking Area or Parking Lot, each such Parking Area or Parking Lot exceeding one hundred and twenty (120) spaces shall have at least one (1) pedestrian walkway bisecting the Parking Area or Parking Lot and connecting to adjoining Sidewalks of a minimum width of eight (8) feet that is paved differently from the parking spaces with respect to texture, material, style, and/or color.

ILLUSTRATION 720.8.7 DRIVE-IN OR DRIVE-THROUGH



13. Parking Areas and Parking Lots shall include Curbs, paving, Sidewalks, drainage facilities, and lighting, in accordance with this Section as well as any other applicable laws, regulations, and specifications.

14. Parking Area paving shall be confined to the minimum area necessary to comply with the parking requirements of this Section.

15. Any Plan submitted under this Article shall show the proposed arrangement of parking accommodations, including access to such areas

SECTION 720: STANDARDS & REQUIREMENTS

from the Thoroughfares, with parking spaces to comply with the requirements of this Section 720.8.7.

16. Parking Structures shall comply with the following:

a. Parking Structures must be Screened from view of any Frontage by one (1) or more Liner Buildings as set forth in Section 720.8.10 and **Table 720.2.1 (District Standards)**. Such Liner Buildings must comply with Section 720.8.13.

b. Parking Structures shall not exceed the maximum Building Height applicable to Buildings within the applicable District.

c. Parking Structures shall be set back from the Thoroughfare a minimum of twenty-four (24) feet.

d. Lots on which Parking Structures are to be located and the standards for such Lots are subject to approval by the Governing Body.

17. Lighting illuminating off-Street parking accommodations in all Districts other than CD-3 must be installed within and directed only within the applicable Parking Area, Parking Lot, Garage, or Parking Structure.

18. Handicapped-accessible parking shall comply with the following:

a. Handicapped-accessible parking shall be located as near as possible to the main public entrances of a single Building or centrally located in Parking Areas that serve more than one (1) Building.

b. All off-Street handicapped-accessible Parking spaces shall be located in the closest Parking Area to a public entrance to the Building but no more than two-hundred and fifty (250) feet from such entrance.

c. No stairs or Curbs are permitted between a handicapped-accessible parking space and the entrance which it is intended to serve, and the slope along the accessible route shall not exceed 1:12.

d. All off-Street handicapped-accessible parking spaces shall be designated by a Sign or other means accepted by State requirements. Van-accessible spaces shall be designated by a Sign indicating "Van Accessible" in addition to any other means used.

e. A minimum width of ninety-six (96) inches shall be required for all van-accessible spaces. Van-accessible spaces shall further require a minimum vertical clearance of ninety-eight (98) inches.

f. An access aisle of sixty (60) inches shall be provided for all handicapped-accessible spaces and an aisle of ninety-six (96) inches shall be provided for all van-accessible spaces. One ninety-six (96) inch aisle may serve both types of spaces. No ramps may project into this access aisle.

19. No required parking accommodation shall be Encroached upon by any Building, Structure, or Use.

720.8.8 Drive-In & Drive-Through Locations & Standards.

1. Any Drive-In or Drive-Through facilities must be located and designed and comply with all standards as specified for the applicable Character District as set forth in **Table 720.2.1 (District Standards)**. See **Illustration 720.8.8 (Drive-In or Drive-Through)**.

ILLUSTRATION 720.8.8 DRIVE-IN OR DRIVE-THROUGH

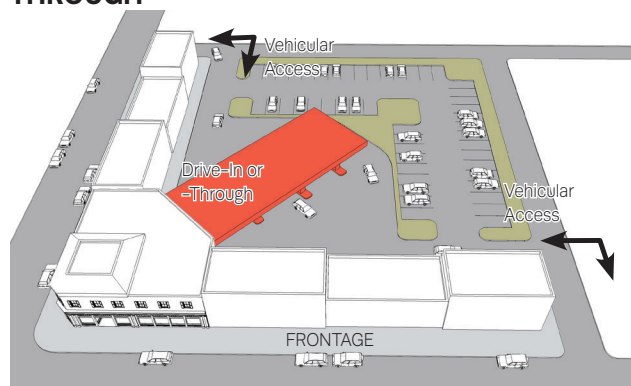


Illustration is provided for illustrative purposes only.

SECTION 720: STANDARDS & REQUIREMENTS

2. Any Drive-In or Drive-Through locations must be accessed by rear Alleys, when such are available on the Zoning map or otherwise available.

3. Off-street vehicular stacking spaces shall be provided for all Drive-Through facilities in accordance with Section 720.8.9.

720.8.9 Stacking Spaces.

1. Off-street vehicular stacking spaces shall be provided in accordance with **Table 720.8.9 (Stacking Spaces)** for the activity type indicated as follows:

TABLE 720.8.7.9 STACKING SPACES

Activity Type	Min. # of Stacking Spaces*	Measured From
Automated Teller Machine	4	Machine
Bank teller Drive-Through	4	Teller or Window
Car wash bay, full-service	6	Bay
Car wash bay, self-service	2	Bay
Dry cleaning/laundry Drive-Through	2	Cleaner/Laundry window
Gasoline Pump Island	1	Pump Island
Gatehouse, staffed	4	Gatehouse
Gate, unstaffed	2	Gate
Other Drive-Through	3	Window
Pharmacy Pickup	3	Pharmacy Window
Restaurant Drive-Through	8	Pickup Window
Valet Parking	3	Valet Stand

*Other as determined by Planning Department in consideration of approved study prepared by a registered engineer with expertise in Transportation Engineering.

2. Required stacking spaces shall be subject to the following design and layout standards:

a. Stacking spaces shall be a minimum of eight (8) feet in width by twenty-five (25) feet in length.

b. Stacking spaces shall not impede on- or off-site traffic movement or movement into or out of off-street Parking spaces.

c. Stacking spaces for each type of activity or accommodation shall be subject to any location standards applicable to the activity or accommodation itself.

d. Stacking spaces shall be separated from other drive aisles, Driveways, or Internal Drives by raised medians, if deemed necessary by the City Engineer for traffic movement and safety.

720.8.10 Screens and Screening.

Screens and Streetscreens shall comply with the standards and requirements of **Table 720.2.1 (District Standards)**.

720.8.11 Driveway Width.

Driveways at Frontages shall be no wider in the First Layer than the width specified for the applicable Character District in **Table 720.2.1 (District Standards)**.

720.8.12 Pedestrian Exits.

Pedestrian exits from all Parking Lots, Parking Areas, Garages, and Parking Structures shall conform to **Table 720.2.1 (District Standards)**, except for underground parking accommodations.

720.8.13 Liner Buildings Required.

All sides of a Parking Structure that face a Thoroughfare shall be Enfronted by one (1) or more Liner Buildings complying with all standards applicable in the District as set forth in **Table 720.2.1 (District Standards)** and the following:

Liner Buildings shall:

1. be at least as tall as the associated Parking Structure which they Screen; and
2. have Shopfront Frontages at all Private Frontages.

SECTION 720: STANDARDS & REQUIREMENTS

SECTION 720.9

LOADING, SERVICE, STORAGE, TRASH RECEPTACLE EQUIPMENT, & OTHER ITEMS, LOCATIONS, & REQUIREMENTS.

720.9.1 General.

Within each District, trash receptacle and truck and bus, as applicable, loading space, shall be located and provided as specified for the applicable District in **Table 720.2.1 (District Standards)**.

720.9.2 Locations of Certain Items.

Within each District, all outdoor loading, storage, service, heating, ventilation and air-conditioning equipment, utility service meters and equipment, mechanical equipment, antennas and satellite equipment, solar panels, recreation, play, grilling, and clothes drying equipment, animal enclosures, runs, shelters, and equipment, and swimming pool, hot tub and spa locations shall be as specified for the applicable District, as required in **Table 720.2.1 (District Standards)**.

720.9.3 Vehicular Access.

Vehicular access to trash receptacle and loading space shall be direct and not in conflict with general vehicular movement serving a site.

Loading, service, storage, and trash receptacle locations shall be accessed by Alleys, when such are available on the applicable Plan or otherwise available.

720.9.4 Vehicular Entrances & Exits.

Vehicular entrances and exits shall be designed to be easily identifiable by drivers and pedestrians. Any signage shall be simple, clear, and concise. Any gates, arms, or booths shall be set back at least twenty (20) feet from the Facades of Adjacent Buildings.

SECTION 720.10

PRIVATE & PUBLIC LIGHTING.









720.10.1 Private & Public Lighting Fixtures.

Private & Public Lighting fixtures and their poles shall comply with the following, except for those that are attached to Buildings:

- 1. Table 720.10.1-A (Private Lighting Types) and Table 720.10.1-B (Public Lighting Types),** except those that are attached to Buildings.
- Lighting standards shall be no higher than thirty (30) feet in Non-Residential Parking Areas and Parking Lots or fifteen (15) feet in other areas.
- Lighting fixtures shall be mounted in a manner so that the cone of illumination is contained on-site and does not cross any property line of the site.
- All lighting fixtures shall be full cut-off.
- Lighting shall not be oriented so that it directs glare or excessive illumination onto Streets in a manner that may distract or interfere with the vision of drivers.
- Any fixtures used to accent architectural features, landscaping or art shall be located, aimed, or shielded to minimize light spill into the night sky.
- Use of illuminated tubing or light strings outlining or defining property lines, sales areas, roof lines, doors, windows or similar areas or features in a manner that is not primarily for safety purposes, as determined by the Code Enforcement Officer, is prohibited. This paragraph shall not limit the use of lights illuminating outdoor dining or gathering areas.

SECTION 720: STANDARDS & REQUIREMENTS









TABLE 720.10.1-A PRIVATE LIGHTING TYPES

LIGHTING TYPE	CD-3	CD-4	CD-5	SD-M	CD-CV
POLE TYPES					
Fiberglass Pole 	NP	NP	NP	NP	NA
Aluminum Pole 	P	P	P	P	NA
Octagonal Concrete Pole 	P	P	P	P	NA
Fluted Concrete Pole 	P	P	P	P	NA
HEAD TYPES					
Cobra Head 	NP	NP	NP	NP	NA
Colonial Head 	P	P	P	P	NA
Coach Head 	P	P	P	P	NA
Acorn Head 	P	P	P	P	NA

LEGEND The following notations are utilized in this table.

-  Permitted
-  Not Permitted
-  Not Regulated
-  Not Applicable

TABLE 720.10.1-B PUBLIC LIGHTING TYPES

LIGHTING TYPE	CD-3	CD-4	CD-5	SD-M	CD-CV
POLE TYPES					
Fiberglass Pole 	NP	NP	NP	NP	NP
Aluminum Pole 	P	P	P	P	P
Octagonal Concrete Pole 	P	P	P	P	P
Fluted Concrete Pole 	P	P	P	P	P
HEAD TYPES					
Cobra Head 	NP	NP	NP	NP	NP
Colonial Head 	P	P	P	P	P
Coach Head 	P	P	P	P	P
Acorn Head 	P	P	P	P	P

LEGEND The following notations are utilized in this table.

-  Permitted
-  Not Permitted
-  Not Regulated
-  Not Applicable

SECTION 720: STANDARDS & REQUIREMENTS

720.10.2 Private & Public Lighting Standards.

The lighting level measured at the Lot Lines must comply with the applicable intensity indicated for the applicable Character District in **Table 720.10.2 (Private & Public Lighting Standards)**.

TABLE 720.10.2 PRIVATE & PUBLIC LIGHTING STANDARDS

District	Min/Max Lighting Level at Frontage Line (in foot-candles)
CD-3	0 - 1.0 fc
CD-4	0 - 1.0 fc
CD-5	1.0 - 2.0 fc
SD-M	0 - 1.0 fc
CD-CV	Not Regulated

SECTION 720.11 THOROUGHFARES & ALLEYS.

720.11.1 General.

1. Thoroughfares and Alleys shall be provided within and Adjacent to each Development Site, as necessary to comply with this Section 720.11.
2. For any Development Site of ten (10) gross acres or more, a Thoroughfare network shall be laid out.
3. Thoroughfares shall:
 - a. provide for vehicular and non-vehicular traffic and provide access to Lots and Open Spaces;
 - b. terminate at other Thoroughfares, forming a network, with Thoroughfares connecting wherever possible to those on Abutting sites and cul-de-sacs not being allowed unless necessary to accommodate specific site conditions; and
 - c. be designed to define Blocks not exceeding the applicable perimeter size described in **Table 720.11.1 (Block Perimeter Standards)**, measured as the sum of Lot Frontage Lines and subject to adjustment as necessary at the edge of a Development Site.

TABLE 720.11.1 BLOCK PERIMETER STANDARDS

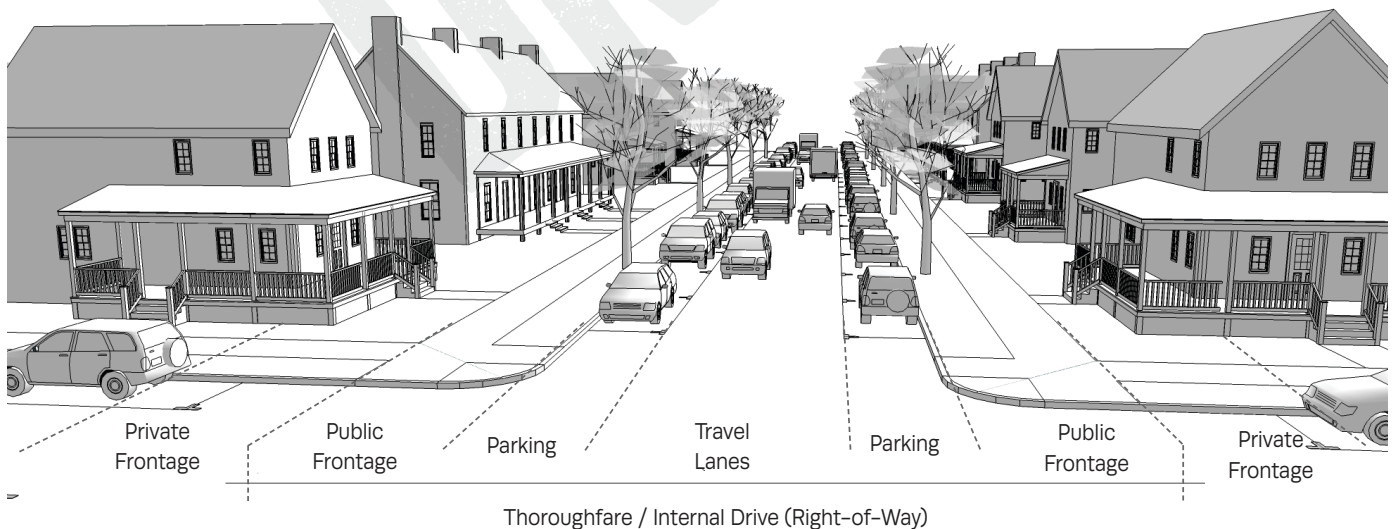
District	Max Block Perimeter
CD-3	3,000 ft. max.
CD-4	2,400 ft. max.
CD-5	2,000 ft. max., or 3,000 ft. max. if Parking Structure is provided within the Block
SD-M	2,400 ft. max.
CD-CV	Per standard of any Adjacent District

4. Alleys, where provided, shall provide for vehicular access to the side or rear of Lots and Civic Spaces.

720.11.2 Thoroughfare Types & Standards.

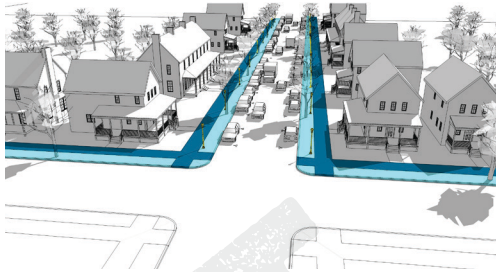
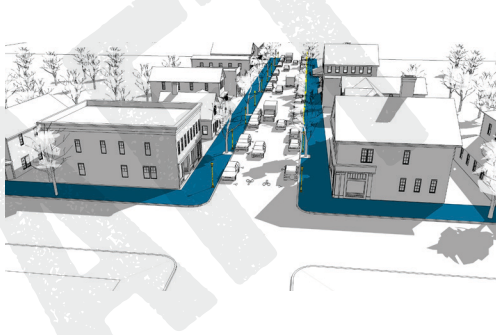

1. New Thoroughfares and extensions or changes to any existing Thoroughfares shall.
 - a. include the components and comply with the standards and requirements for the applicable Thoroughfare type. See **Illustration 720.11.2.A (Thoroughfare Components)**, as provided in **Table 720.11.2.B (Thoroughfare Types - Summary)** and **Table 720.11.2.C (Thoroughfare Assemblies & Standards)**; and
 - b. except for Alleys, have Public Frontages that adjust accordingly as they pass from one District to another or, alternatively, follow the alignment of the Thoroughfare to the depth of one Lot retaining a single Public Frontage throughout the entire trajectory.
2. Where a Driveway connects to a collector or major Thoroughfare, it shall be designed to provide for a turnaround to avoid backing into the Thoroughfare.

ILLUSTRATION 720.11.2.A THOROUGHFARE COMPONENTS



SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.11.2.B THOROUGHFARE TYPES – SUMMARY

Thoroughfare Type	Illustration	Permitted Districts
<p>Neighborhood Street</p> <p>A local urban Thoroughfare of low speed and capacity and having a Public Frontage with raised Curbs drained by inlets, Sidewalks separated from the Vehicular Lanes by individual or continuous Planters, and parking on one or both sides. The landscaping consists of regularly spaced and aligned rows of trees along the thoroughfare.</p>		<p>CD-3 CD-4</p> <p>SD-M</p>
<p>Commercial Street</p> <p>A Thoroughfare type designed for moderate to high vehicular capacity and slow speed, traversing an urbanized area. The Public Frontage has raised Curbs drained by inlets and very wide Sidewalks along both sides, separated from the Vehicular Lanes by separate tree wells or Planters with grates and parking on both sides. The landscaping consists of regularly spaced and aligned rows of trees along the thoroughfare, which clears the storefront entrances.</p>		<p>CD-4 CD-5</p> <p>SD-M</p>
<p>Drive</p> <p>A Thoroughfare type with Building Frontages on one side and no or very sporadic Building Frontages on the other side. Frequently, a Drive is used along a boundary between an urbanized area and a natural condition along a waterfront or Natural Area. The Public Frontage has raised Curbs drained by inlets and a wide Sidewalk or paved Path along one side, related to a Greenway or waterfront. It is separated from the Vehicular Lanes by individual or continuous Planters. The landscaping consists of Thoroughfare Trees aligned in a regularly spaced row.</p>		<p>CD-3 CD-4</p> <p>CD-5 SD-M</p>

SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.11.2.C THOROUGHFARE ASSEMBLIES AND STANDARDS
NEIGHBORHOOD STREET

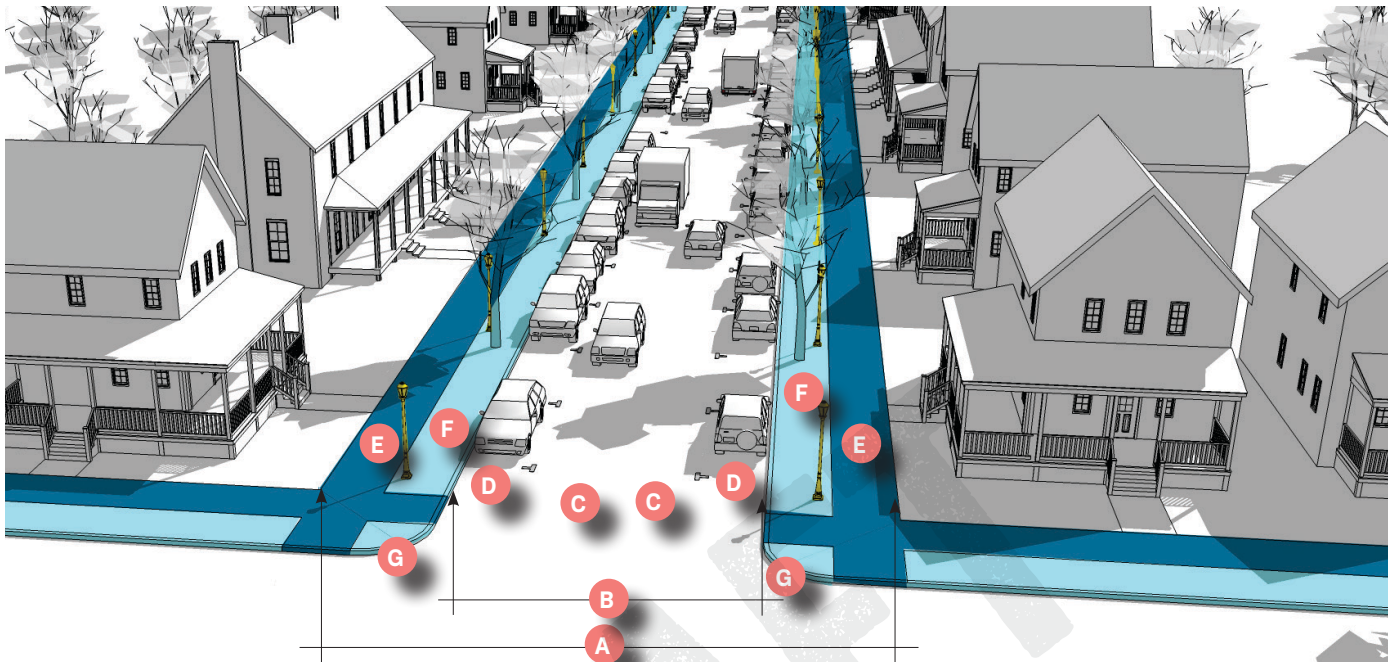


Illustration is provided for illustrative purposes only.

Permitted Districts

CD-3 | CD-4 | SD-M

Thoroughfare Type	Neighborhood Street	
Right of Way Width	54 – 76 ft	A
Pavement Width	38 – 52 ft	B
Movement	Slow	
Assemblies		
Travel Lanes	2 lanes	C
Travel Lane Width	10 ft	
Parking Lanes	Parallel, 1 or both sides	D
Parking Lane Width	8 ft.	
Bikeway Type	Shared Use Lane, Buffered Bicycle Lane. See Table 720.13.3.B*	
*Bikeways are optional. If bikeways are provided, right of way and pavement width may be increased by the aggregate width of bikeways, in accordance with Table 720.13.3.B (Bikeway Types).		
Walkway		
Walkway Type	Sidewalk, both sides	E
Walkway Width	5 – 8 ft	

Planter		
Planter Type	Continuous Planter	F
Planter Width	8 – 12 ft	
Landscape Type	Trees at 30 ft on center average; first tree shall be placed within 30 ft of Block corner.	
Curb		
Turning Radius	25 ft min	
Curb Radius	10 –20 ft*, except where travel lane is Adjacent to the Curb, the maximum Curb radius shall be 25 ft.	G
Curb Type	Raised Curb (Travel Lane may not include gutter, Parking Lane may)	
*Designated truck routes may have a Curb radius larger than 20 feet if required by the Public Works Department to accommodate the design vehicle for that route.		
Lighting		
Lighting Placement	Type and design approved by Engineering	
Lighting Type	Type and design approved by Engineering	

SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.11.2.C THOROUGHFARE ASSEMBLIES AND STANDARDS
COMMERCIAL STREET

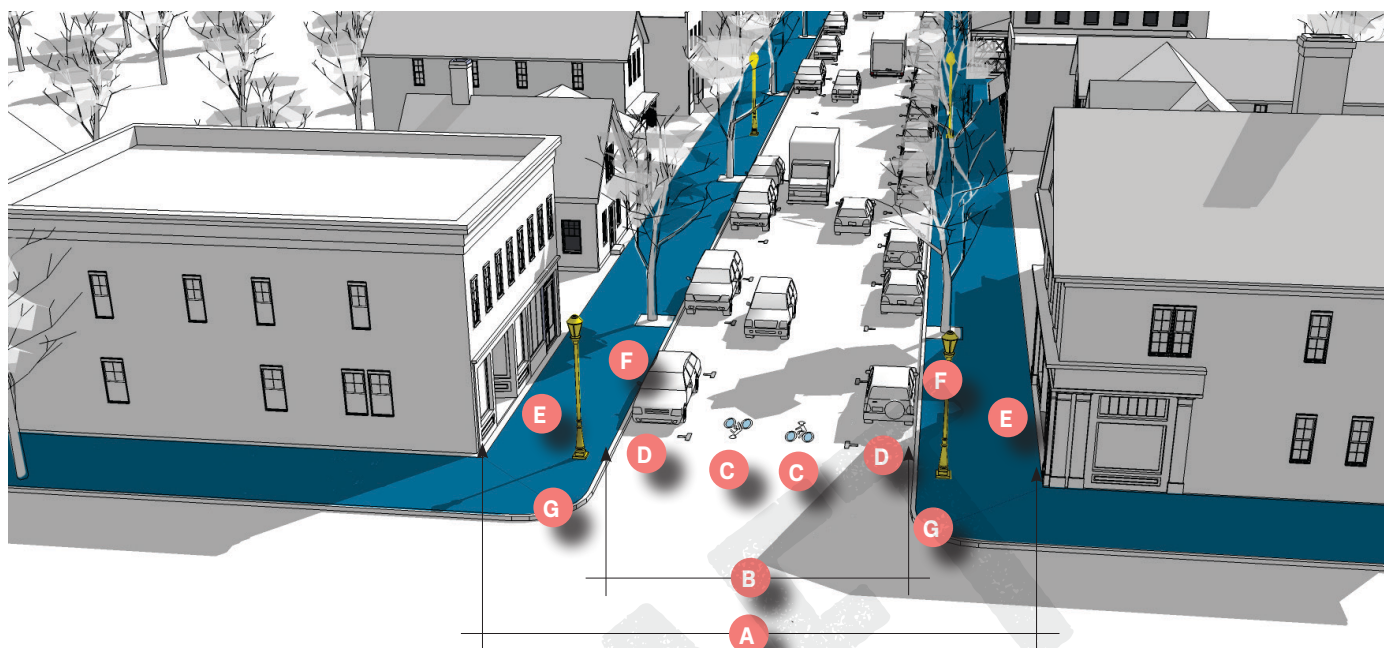


Illustration is provided for illustrative purposes only.

Permitted Districts

CD-4 | CD-5 | SD-M

Thoroughfare Type	Commercial Street	
Right of Way Width	68 – 88 ft	A
Pavement Width	60 – 76 ft	B
Movement	Slow	
Assemblies		
Travel Lanes	2 Lanes	C
Travel Lane Width	10 ft	
Parking Lanes	Parallel, 2 sides	D
Parking Lane Width	8 ft, marked	
Bikeway Type	Shared Use Lane, Buffered Bicycle Lane, Protected Bicycle Lane. See Table 720.13.3.B*	
*Bikeways are optional. If bikeways are provided, right of way and pavement width may be increased by the aggregate width of bikeways, in accordance with Table 720.13.3.B (Bikeway Types).		
Walkway		
Walkway Type	Sidewalk, both sides	E
Walkway Width	12 – 20 ft	

Planter		
Planter Type	Tree Well or Planter	F
Planter Width	4 – 6 ft	
Landscape Type	Trees at 30 ft on center average; first tree shall be placed within 30 ft of Block corner.	
Curb		
Turning Radius	25 ft min	
Curb Radius	5 – 20 ft*, except where travel lane is Adjacent to the Curb, the maximum Curb radius shall be 25 ft.	G
Curb Type	Raised Curb (Travel Lane may not include gutter, Parking Lane may)	
*Designated truck routes may have a Curb radius larger than 20 feet if required by the Public Works Department to accommodate the design vehicle for that route.		
Lighting		
Lighting Placement	Type and design approved by Engineering	
Lighting Type	Type and design approved by Engineering	

SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.11.2.C THOROUGHFARE ASSEMBLIES AND STANDARDS DRIVE

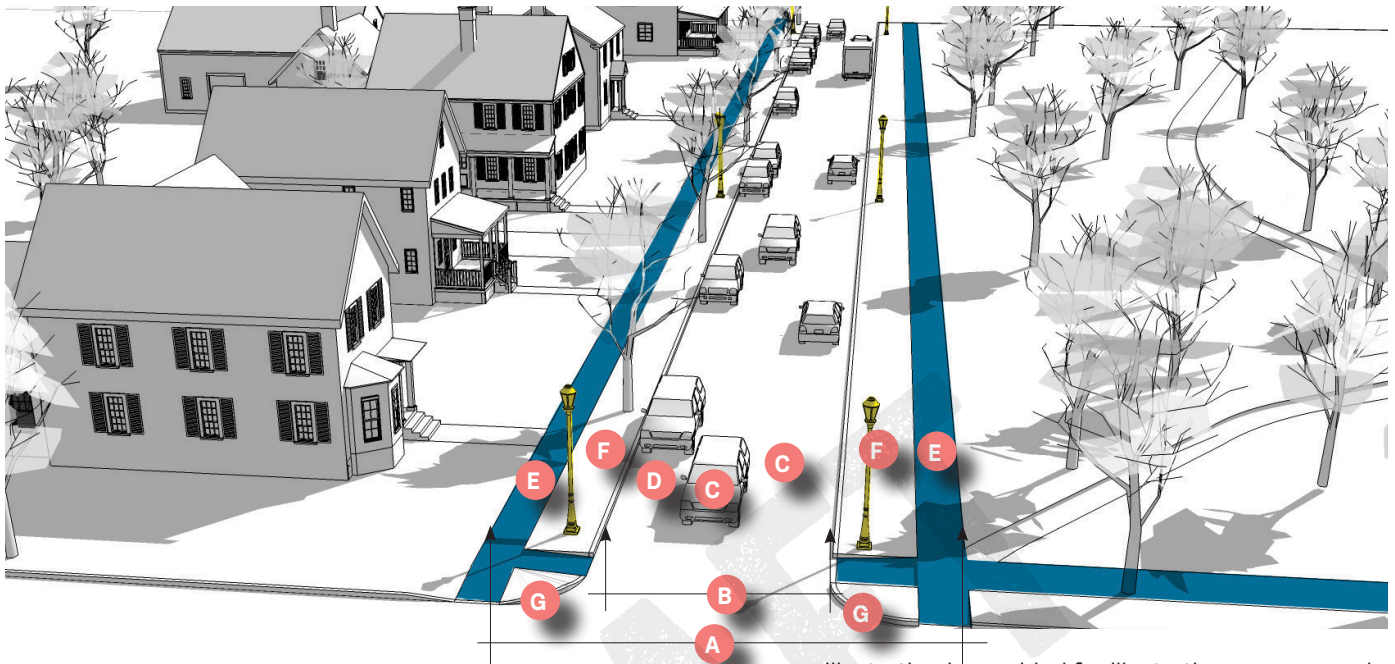


Illustration is provided for illustrative purposes only.

Permitted Districts

CD-3 | CD-4 | CD-5 | SD-M

Thoroughfare Type	Drive	
Right of Way Width	50 – 72 ft	A
Pavement Width	34 – 48 ft	B
Movement	Slow	
Assemblies		
Travel Lanes	1 – 2 lanes	
Travel Lane Width	10 ft	C
Parking Lanes	Parallel, 1 side	D
Parking Lane Width	8 ft., unmarked	
Bikeway Type	Shared Use Lane, Buffered Bicycle Lane. See Table 720.13.3.B*	
*Bikeways are optional. If bikeways are provided, right of way and pavement width may be increased by the aggregate width of bikeways, in accordance with Table 720.13.3.B (Bikeway Types).		
Walkway		
Walkway Type	Sidewalk, both sides	E
Walkway Width	8 – 10 ft	

Planter		
Planter Type	Continuous Planter	F
Planter Width	8 – 12 ft	
Landscape Type	Trees at 30 ft on center average; first tree shall be placed within 30 ft of Block corner.	
Curb		
Turning Radius	25 ft min	
Curb Radius	10 – 20 ft*, except where travel lane is Adjacent to the Curb, the maximum Curb radius shall be 25 ft.	G
Curb Type	Raised Curb (Travel Lane may not include gutter, Parking Lane may)	
*Designated truck routes may have a Curb radius larger than 20 feet if required by the Public Works Department to accommodate the design vehicle for that route.		
Lighting		
Lighting Placement	Type and design approved by Engineering	
Lighting Type	Type and design approved by Engineering	

SECTION 720: STANDARDS & REQUIREMENTS

720.11.3 Alleys.

Each Alley shall conform to the elements shown in **Illustration 720.11.3.A (Alley Components)** and the assemblies and standards of **Table 720.11.3.B (Alley Assemblies & Standards)**.

ILLUSTRATION 720.11.3.A ALLEY COMPONENTS



SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.11.3.B ALLEY ASSEMBLIES & STANDARDS
REAR ALLEY



Illustration is provided for illustrative purposes only.

Permitted Districts

CD-4 | CD-5 | SD-M

Thoroughfare Type	Rear Alley
Right of Way Width	20 ft max A
Pavement Width	14 ft max B
Movement	Slow
Assemblies	
Travel Lanes	1 Lane
Travel Lane Width	14 ft
Parking Lanes	None
Parking Lane Width	N/A
Bikeway Type	N/A
Walkway	
Walkway Type	None
Walkway Width	N/A

Planter	
Planter Type	None
Planter Width	N/A
Landscape Type	None
Tree Species	N/A
Curb	
Turning Radius	Not Regulated
Curb Radius	5 - 10 ft C
Curb Type	None
Lighting	
Not Regulated	

SECTION 720: STANDARDS & REQUIREMENTS

720.11.4 Additional Pedestrian Walkways.

1. In addition to the Public Frontage, Parking Lot and Parking Area sidewalk and walkway requirements and the sidewalk requirements contained in the City Development Regulations, pedestrian ways, linkages and Paths shall be provided from the Building entry to surrounding Thoroughfares, external sidewalks, transit stops and out-parcels.
2. Pedestrian ways shall be designed to provide access between Parking Lots and Parking Areas and Building public entrances.
3. At least one (1) handicapped accessible route in accordance with applicable State requirements shall connect Buildings, facilities, elements and Parking spaces that are on the same Lot or Development Site.
4. Crosswalks shall be designed and provided for pedestrian access to and from Buildings, Parking Lots, Parking Areas, and off-site parking spaces, and shall be clearly designated with signage and variations in pavement materials or markings.

720.11.5 Connecting Driveways.

1. Where a Driveway connects to a collector or major Thoroughfare, it shall be designed to provide for a turnaround to avoid backing into the Thoroughfare.
2. Alleys shall comply with the assemblies and standards of **Table 720.11.3.B (Alley Assemblies & Standards)**.

720.11.6 Bicycle Accommodations.

A bicycle network comprised of the various allowed Bikeway Types indicated in **Table 720.11.5 (Bikeway Types)** shall be provided throughout each Development Site of ten (10) acres or more.

SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.11.5 BIKEWAY TYPES

Bicycle Lane

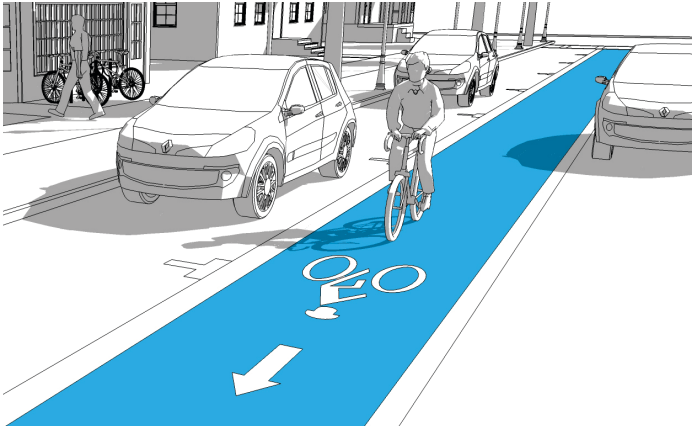


Illustration is provided for illustrative purposes only.

Permitted Districts

CD-3 | CD-4 | CD-5 | SD-M

Riding Surface Width	5 ft min
Buffer	None
Movement	With traffic
Intersection Detailing	Signalized, Peg-a-Track, colored, Bicycle Box
Bicycle Parking	Rack, bicycle shelter, bicycle station

Protected Bicycle Lane

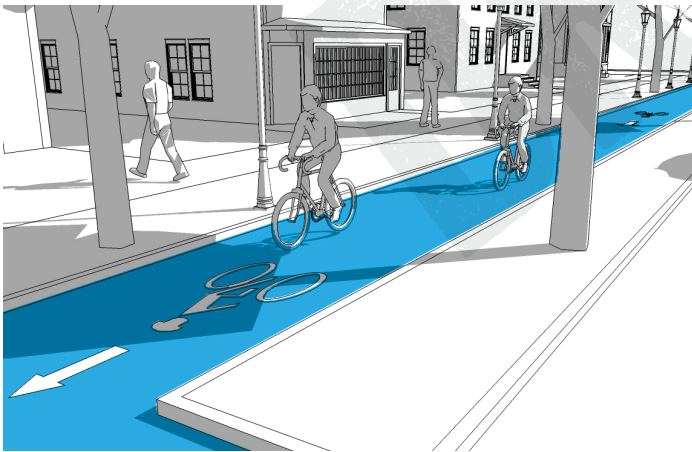


Illustration is provided for illustrative purposes only.

Permitted Districts

CD-4 | CD-5 | SD-M

Riding Surface Width	5 ft min
Buffer	3 ft min, painted buffer, Curb, or Planting strip
Movement	With traffic or dual direction
Intersection Detailing	Signalized, Peg-a-Track, colored, Bicycle Box
Bicycle Parking	Rack, bicycle shelter, bicycle station

SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.11.5 BIKEWAY TYPES

Buffered Bicycle Lane

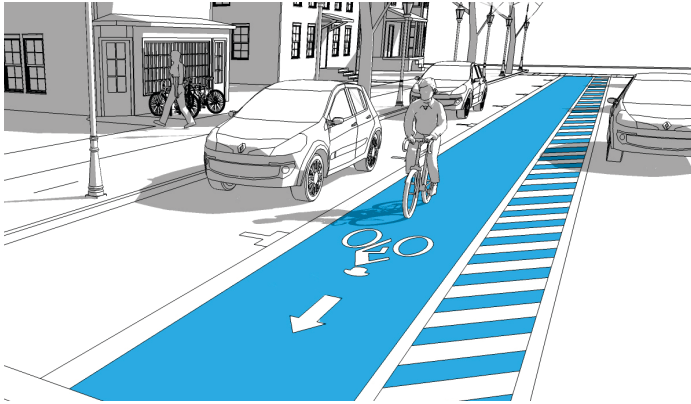


Illustration is provided for illustrative purposes only.

Permitted Districts

CD-3 | CD-4 | CD-5 | SD-M

Riding Surface Width	5 ft min each way
Buffer	2 ft min, painted buffer
Movement	With traffic or Contra-flow (2 lanes on the same side of the street or 1 lane on each side)
Intersection Detailing	Signalized, Peg-a-Track, colored, Bicycle Box
Bicycle Parking	Rack, bicycle shelter, bicycle station

Shared Use Lane

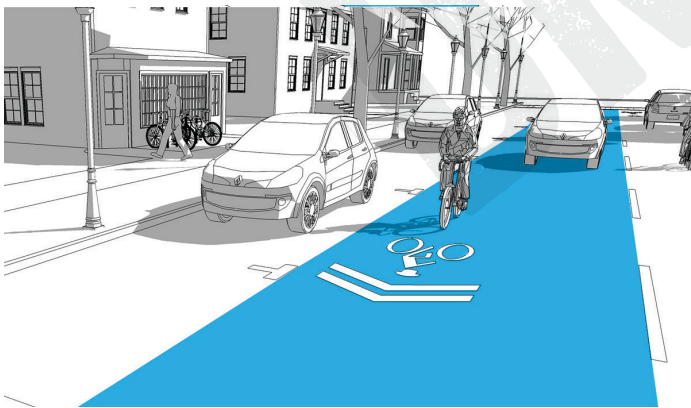


Illustration is provided for illustrative purposes only.

Permitted Districts

CD-3 | CD-4 | CD-5 | SD-M

Riding Surface Width	Same as Vehicular Lane
Buffer	N/A
Movement	With Traffic
Intersection Detailing	Signed, signalized
Bicycle Parking	Opportunistic, rack, Bicycle Shelter

TABLE 720.11.5 BIKEWAY TYPES

Shared Use Path

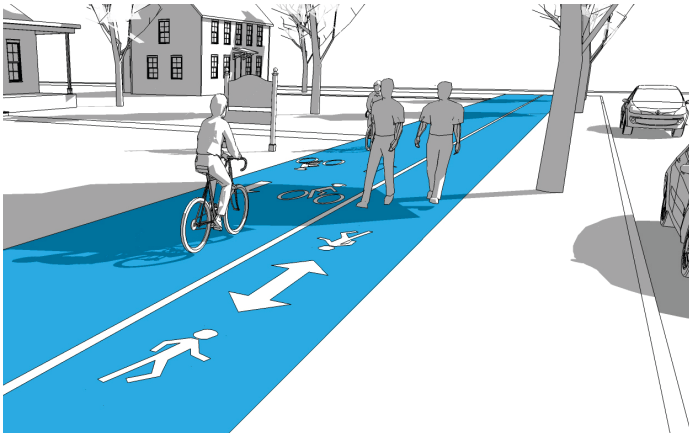


Illustration is provided for illustrative purposes only.

Permitted Districts

CD-3 **CD-4** **CD-5** **SD-M**

Riding Surface Width	Limit to 1 bi-directional Bikeway per Right of Way; 10 ft. min.; or 1 uni-directional Bikeway on path on each side permitted
Buffer	3 ft min., if Buffer is between pavement surface and Bike Lane; if Buffer is the planting strip, then Character District minimums for tree planting width apply
Movement	With traffic or dual direction
Intersection Detailing	Signed, signalized, Peg-a-Track
Bicycle Parking	Rack, bicycle shelter, bicycle station

SECTION 720: STANDARDS & REQUIREMENTS

SECTION 720.12

CD-CV & CIVIC SPACES.

720.12.1 Assignment.

Character District CD-CV and Civic Spaces within CD-CV shall be assigned according to Section 710.2.

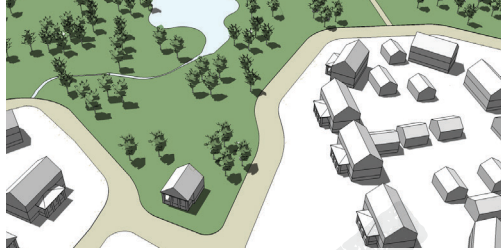


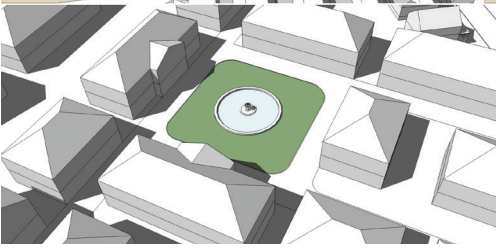
720.12.2 Civic Space Design.

Civic Spaces shall be designed in accordance with **Table 720.12.2.A (Civic Space Types - Summary)** and **Table 720.12.2.B (Civic Space - Specific Standards)**.

DRAFT



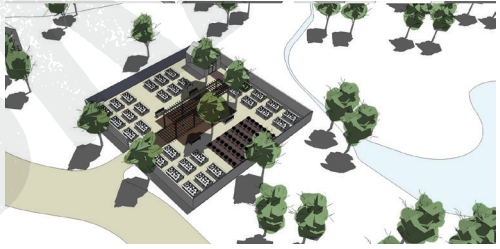
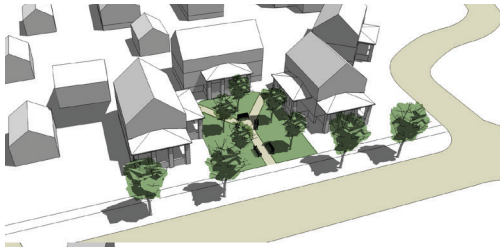
SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.12.2.A CIVIC SPACE TYPES - SUMMARY

Civic Space Type	Illustration	Permitted In / Adjacent to Districts
<p>Natural Area A natural preserve available for unstructured recreation. A Natural Area may be independent of surrounding Building Frontages. Its landscape shall consist of Paths and trails, meadows, waterbodies, woodland and open shelters, all naturalistically disposed. Natural Areas may be lineal, following the trajectories of natural Corridors. The minimum size shall be 8 acres.</p>		<p>CD-CV</p>
<p>Green An outdoor area, available for unstructured recreation. A Green may be spatially defined by landscaping rather than Building Frontages. Its landscape shall consist of lawn and trees, naturalistically disposed. The minimum size shall be 1/2 acre and the maximum shall be 8 acres.</p>		<p>CD-3 CD-4 CD-5 SD-M CD-CV</p>
<p>Square An outdoor area available for unstructured recreation and Civic purposes. A Square is spatially defined by Building Frontages. Its landscape shall consist of Paths, lawns and trees, formally disposed. Squares shall be located at the intersection of important Thoroughfares. The minimum size shall be 1/2 acre and the maximum shall be 5 acres.</p>		<p>CD-4 CD-5 SD-M CD-CV</p>
<p>Plaza An outdoor area available for Civic purposes and Commercial activities. A Plaza shall be spatially defined by Building Frontages. Its landscape shall consist primarily of pavement. trees are optional. Plazas should be located at the intersection of important Thoroughfares. The minimum size shall be 1/2 acre and the maximum shall be 2 acres.</p>		<p>CD-4 CD-5 SD-M CD-CV</p>

SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.12.2.A CIVIC SPACE TYPES – SUMMARY

Civic Space Type (continued)	Illustration	Permitted In / Adjacent to Districts
<p>Playground</p> <p>An outdoor area designed and equipped for the recreation of children. A Playground should be Fenced and may include an open shelter. Playgrounds shall be interspersed within Residential areas and may be placed within a Block. Playgrounds may be included within Natural Areas and Greens. There shall be no minimum or maximum size.</p>		<p>CD-3 CD-4 CD-5</p> <p>SD-M CD-CV</p>
<p>Sports Field or Court</p> <p>An outdoor area designed and equipped for team sports activities.</p>		<p>CD-3 SD-M CD-CV</p>
<p>Community Garden</p> <p>A grouping of garden plots available for small-scale cultivation, generally to residents without private gardens. Community gardens should be Fenced and accommodate individual storage sheds. Running water is required. Community Gardens shall be interspersed within Residential areas and may be placed within a Block or included within Natural Areas and Greens. There shall be no minimum or maximum size.</p>		<p>CD-3 CD-4 CD-5</p> <p>SD-M CD-CV</p>
<p>Pocket Park</p> <p>A small predominantly green outdoor area available for unstructured passive recreation.</p>		<p>CD-3 CD-4 CD-5</p> <p>SD-M CD-CV</p>

SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.12.2.B CIVIC SPACE – SPECIFIC STANDARDS

Natural Area



Permitted In / Adjacent to:

CD-CV

Intent

A natural area available for unstructured recreation. A Natural Area may be independent of surrounding Building Frontages. Its landscape shall consist of Paths and trails, meadows, waterbodies, woodland and open shelters, all naturalistically disposed. Natural Areas may be lineal, following the trajectories of natural Corridors. The minimum size is 8 acres.

Specifications

Size	8 ac min.
Frontage	Not Regulated
Character	Natural

Typical Facilities

- Passive and active recreation
- Recreational and community facilities
- Playgrounds and play structures
- Paths and trails
- Accessory structures

Green



Permitted In / Adjacent to:

CD-3 CD-4 CD-5 SD-M CD-CV

Intent

An outdoor area, available for unstructured recreation. A Green may be spatially defined by landscaping rather than Building Frontages. Its landscape shall consist of lawn and trees, naturalistically disposed. The minimum size is 0.5 acre and the maximum is 8 acres.

Specifications

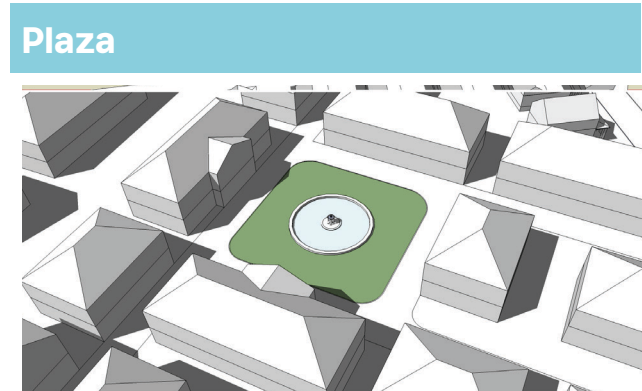
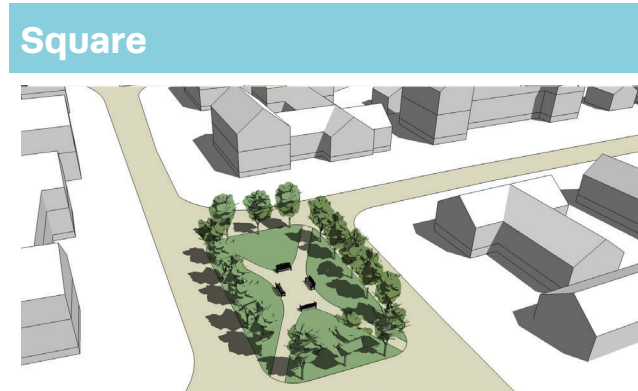
Size	0.5 ac min., 8 ac max.
Frontage	Independent
Character	Informal

Typical Facilities

- Passive and active recreation
- Playgrounds and play structures
- Paths and trails
- Accessory structures

SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.12.2.B CIVIC SPACE – SPECIFIC STANDARDS



Permitted In / Adjacent to:

CD-4 | CD-5 | SD-M | CD-CV

Intent

An outdoor area available for unstructured recreation and Civic purposes. A Square is spatially defined by Building Frontages. Its landscape shall consist of Paths, lawns and trees, formally disposed. Squares shall be located at the intersection of important Thoroughfares. The minimum size is 0.5 acre and the maximum is 5 acres.

Specifications

Size	0.5 acres min., 5 acres max.
Frontage	Buildings
Character	Formal

Typical Facilities

- Passive recreation
- Paths
- Accessory structures

Permitted In / Adjacent to:

CD-4 | CD-5 | SD-M | CD-CV

Intent

An outdoor area available for Civic purposes. A Plaza shall be spatially defined by Building Frontages. Its landscape shall consist primarily of pavement. Trees are optional. Plazas shall be located at the intersection of important Thoroughfares. The minimum size is 0.5 acre and the maximum is 2 acres.

Specifications

Size	0.5 ac min. 2 ac max.
Frontage	Buildings
Character	Formal

Typical Facilities

- Passive recreation
- Paths
- Accessory structures
- Water features

SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.12.2.B CIVIC SPACE – SPECIFIC STANDARDS

Playground



Permitted In / Adjacent to:

CD-3 | CD-4 | CD-5 | SD-M | CD-CV

Intent

An outdoor area designed and equipped for the recreation of children. A Playground may include an open shelter. Playgrounds shall be interspersed within Residential areas and may be placed within a Block. Playgrounds may be included within Natural Areas and Greens. There is no minimum or maximum size.

Specifications

Size	No min. No max.
Frontage	Buildings
Character	Formal or Informal

Typical Facilities

- Active recreation
- Play structures
- Paths
- Water features

Sports Field or Court



Permitted In / Adjacent to:

CD-3 | SD-M | CD-CV

Intent

An outdoor area designed and equipped for team sports activities.

Specifications

Size	No min. No max.
Frontage	Buildings
Character	Formal

Typical Facilities

- Active recreation
- Play structures

SECTION 720: STANDARDS & REQUIREMENTS

TABLE 720.12.2.B CIVIC SPACE – SPECIFIC STANDARDS

Community Garden



Permitted In / Adjacent to:

CD-3 | CD-4 | CD-5 | SD-M | CD-CV

Intent

A grouping of garden plots available for small-scale cultivation, generally to residents without private gardens. Community gardens should be Fenced and accommodate individual storage sheds. Running water is required. Community Gardens shall be interspersed within Residential areas and may be placed within a Block or included within Natural Areas and Greens. There is no minimum or maximum size.

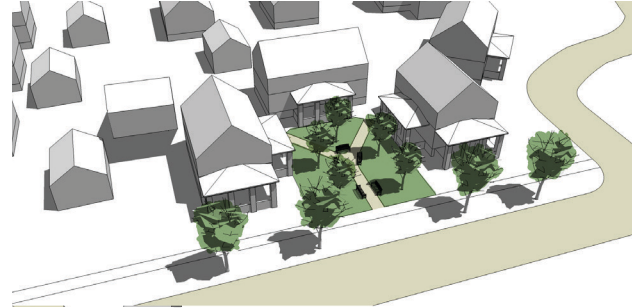
Specifications

Size	No min. No max.
Frontage	May be Enfronted by Buildings or be located behind Buildings
Character	Formal

Typical Facilities

- Active recreation
- Garden plots
- Accessory structures
- Running water

Pocket Park



Permitted In / Adjacent to:

CD-3 | CD-4 | CD-5 | SD-M | CD-CV

Intent

A small predominantly green outdoor area available for unstructured passive recreation.

Specifications

Size	500 sq. ft. min. 0.5 acres max.
Frontage	Independent
Character	Formal

Typical Facilities

- Passive recreation
- Community gardens
- Playgrounds and play Structures
- Paths and trails
- Limited transient commercial concessions

SECTION 720: STANDARDS & REQUIREMENTS

720.12.3 CD–CV Standards.

1. All Lots, Development, Buildings, Structures, and Improvements within Character District CD–CV must conform to and shall be designed as generally described in **Table 720.2.1 (District Standards)**, **Table 720.12.2.A (Civic Space Types – Summary)**, and **Table 720.12.2.B (Civic Space – Specific Standards)**, provided that any Civic Building shall be located within or abutting a Civic Space, or at the axial termination of a significant right-of-way. The particulars of the design of each Civic Building shall be determined by the Governing Body.
2. Except for Playgrounds, each Civic Space shall have a minimum of 50% of its perimeter Enfronting a right-of-way.

720.12.4 Reservation for Civic Purposes.

Civic Buildings and Civic Spaces shall be permanently reserved for Civic purposes.

SECTION 720.13 PUBLIC & PRIVATE LANDSCAPING.

720.13.1 General.

1. Lots shall be landscaped in accordance with **Table 720.2.1 (District Standards)**, **Table 720.2.3 (Civic Zone Standards)** and this Section 720.13.
2. Additionally, Civic Spaces shall be designed as set forth in **Table 720.12.2.B (Civic Space – Specific Standards)**.
3. All Public Landscaping shall comply with this Section 720.13.

720.13.2 Plant Materials.

Except as otherwise required by Sections 720.13.4 and 720.13.5, all plant materials shall comply with the minimum container size, class and other requirements outlined in American Standards for Nursery Stock (ANSI

Z60.1–2004) published by the American Nursery and Landscape Association (ANLA) or other local Nursery Association Standards.

720.13.3 Placement of Trees.

Landscaping within the Public Frontage and landscaping within Civic Spaces shall comply with the following standards:

- a. The same shall be centered horizontally and placed minimally:
 - (1) Two (2) feet from walkways, Curbs, and other impervious surfaces if planted in a tree well or continuous Planter;
 - (2) Three (3) feet from walkways, Curbs, and other impervious surfaces if planted in a continuous swale or uncontained area.
- b. Five (5) feet from street lights, utility meters and service lines, Fences, walls and other ground level obstructions;
- c. Six (6) feet from Porch eaves, awnings and similar overhead obstructions associated with the ground level of Buildings; and
- d. Eight (8) feet from balconies, verandas, Building eaves and cornices, and similar overhead obstructions associated with the upper stories of Buildings.

720.13.4 Tree Size.

At installation, trees shall be a minimum of two and a half inches (2.5") in caliper, measured three feet (3') above the ground and a minimum of ten feet (10') tall.

720.13.5 Shrub Size.

At installation, Shrubs shall be a three (3) gallon container minimum and a height of 30 inches minimum. Shrubs shall be 18" minimum clear from any Sidewalk or pavement edge at the Lot Line.

SECTION 720: STANDARDS & REQUIREMENTS

720.13.6 Bare / Exposed Ground.

All bare or exposed ground on the site and in landscaped areas shall be covered with live plant materials and/or mulch, with the following exceptions:

- a. Naturally occurring creek beds, rock outcroppings or similar landscape features typically lacking in vegetation.
- b. Hiking trails and/or traces.
- c. Clay or sand surfaces associated with recreation fields and facilities.

720.13.7 Artificial Plants / Turf.

Artificial plants and artificial turf are prohibited.

720.13.8 Irrigation.

All required landscape areas shall be irrigated by an automatic underground irrigation system. Where possible and practical, bubbler, drip irrigation, and soaker hose emitters shall be utilized. Each irrigation system shall be equipped with a meter, backflow preventer, rain sensor, and a suitable controller.

720.13.9 Temporary Spray Irrigation.

Temporary spray irrigation systems may be used to establish seeded areas for grass and groundcover and native drought-tolerant landscape.

720.13.10 Water Features.

Constructed water features such as fountains, streams and ponds that operate with water recirculation systems shall be designed to prevent seepage and leaks.

720.13.11 Prevention of Compaction.

The soil structure of planting strips shall be protected from compaction with a temporary construction Fence. Standards of access, excavation, movement, storage and backfilling of soils in relation to the construction

and maintenance of deep utilities and manholes shall be specified.

720.13.12 Preservation of Topsoil.

The topsoil within the area of disturbance within a Development Site or construction area shall be removed, stored, and amended as recommended by a landscape soils test.

720.13.13 Mitigation of Wind Erosion.

Wind erosion shall be mitigated and controlled through dust abatement and similar practices during the period of site work and construction.

720.13.14 Compacted Soils.

Landscape soils that have been compacted during construction activities shall be loosened and aerated to a depth of at least six (6) inches before planting.

720.13.15 Condition of Plants.

Plants shall have normal, well-developed branches and vigorous root systems.

720.13.16 Pavement of First Layer.

The First Layer shall not be paved, except for the following:

1. Driveways; and
2. Pavement matching the adjoining Public Frontage in Districts CD-4 and CD-5 where the Building is set back no more than five (5) feet from the Front Lot Line.

720.13.17 Structural Soil.

Structural soil shall be utilized adjacent to tree pits.

**THIS PAGE INTENTIONALLY
LEFT BLANK**

DRAFT

SECTION 720

SECTION 730

SIGN STANDARDS

SECTION 730.1

GENERAL.

Signs must comply with the requirements of this Section 730.




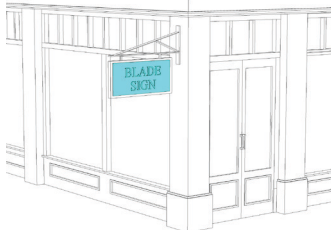

SECTION 730.2

SPECIFIC TO DISTRICT SIGNS.

Within each District, the allowed types and numbers of Signs shall be as provided in **Table 730.2-1 (Sign Types - Summary)**, **Table 730.2-2 (Sign Types - Specific Standards)**, and this Section 730.2. Each Sign type shall be subject to the applicable standards and requirements of **Table 730.2-1 (Sign Types - Summary)** and **Table 730.2-2 (Sign Types - Specific Standards)**.

SECTION 730: SIGN STANDARDS





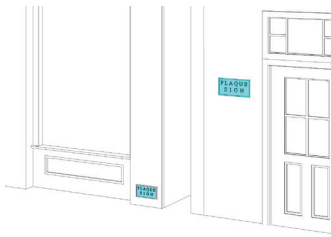
TABLE 730.2-1 SIGN TYPES – SUMMARY

Specific Sign Type	Illustration	Districts
<p>Address Sign A Sign that consists of a numeric reference to a Structure, mounted on the Building.</p>		<p>CD-3 CD-4 CD-5 SD-M CD-CV</p>
<p>Awning Sign An awning that contains lettering painted, screen printed, or appliquéd on the awning valance.</p>		<p>CD-4 CD-5 SD-M CD-CV</p>
<p>Band Sign A Sign that is flat against the Facade and placed directly above the main entrance and often run horizontally along the entablature of traditional Buildings. Band Signs are typically intended to be seen from a distance and are often accompanied by additional pedestrian-scaled signage.</p>		<p>CD-4 CD-5 SD-M CD-CV</p>
<p>Blade Sign A Sign mounted on the first floor of a Building perpendicular to a Building Facade Wall, typically hung from decorative cast or wrought iron bracket in a manner that permits it to swing slightly. These Signs are small, pedestrian-scaled, and easily read from both sides.</p>		<p>CD-4 CD-5 SD-M CD-CV</p>
<p>Directory Sign A Sign that displays the tenant names and locations for a Building containing multiple tenants.</p>		<p>CD-4 CD-5 SD-M CD-CV</p>

Illustrations are provided for illustrative purposes only.

SECTION 730: SIGN STANDARDS

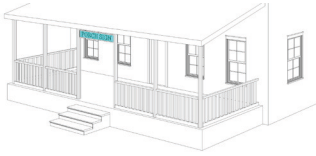


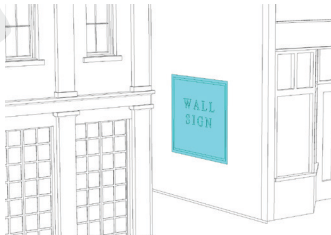

TABLE 730.2-1 SIGN TYPES – SUMMARY

Specific Sign Type	Illustration	Districts
<p>Large Projecting Sign A Sign attached above the first floor of a multi-floor Building and projecting from a Building Facade at a 90-degree angle, or if oriented to a Block corner, a 45 degree angle.</p>		<p>CD-5 CD-CV</p>
<p>Marquee Sign A Sign that is located either along the Facade where it projects perpendicular to the Facade or at the corner of a Building where it projects at a 45 degree angle. These Signs often extend beyond the parapet of the Building, but may also terminate below the cornice or eave. Marquee Signs may have neon lettering used in conjunction with painted colored or changeable lettering.</p>		<p>CD-5 CD-CV</p>
<p>Monument Sign A Sign that is erected on a solid base directly on the ground, and that is itself constructed of a solid material.</p>		<p>CD-4 SD-M CD-CV</p>
<p>Outdoor Display Case A Sign consisting of a lockable metal- or wood-framed cabinet with a hinged transparent door inside of which information may be viewed and accessed for maintenance and updating.</p>		<p>CD-4 CD-5 SD-M CD-CV</p>
<p>Plaque Sign A Sign that identifies a Building or its builder, or on professional office Buildings, which might name the firm or partners in a firm. May also be referred to as an Architectural Sign.</p>		<p>CD-3 CD-4 CD-5 SD-M CD-CV</p>

Illustrations are provided for illustrative purposes only.

SECTION 730: SIGN STANDARDS

TABLE 730.2-1 SIGN TYPES – SUMMARY

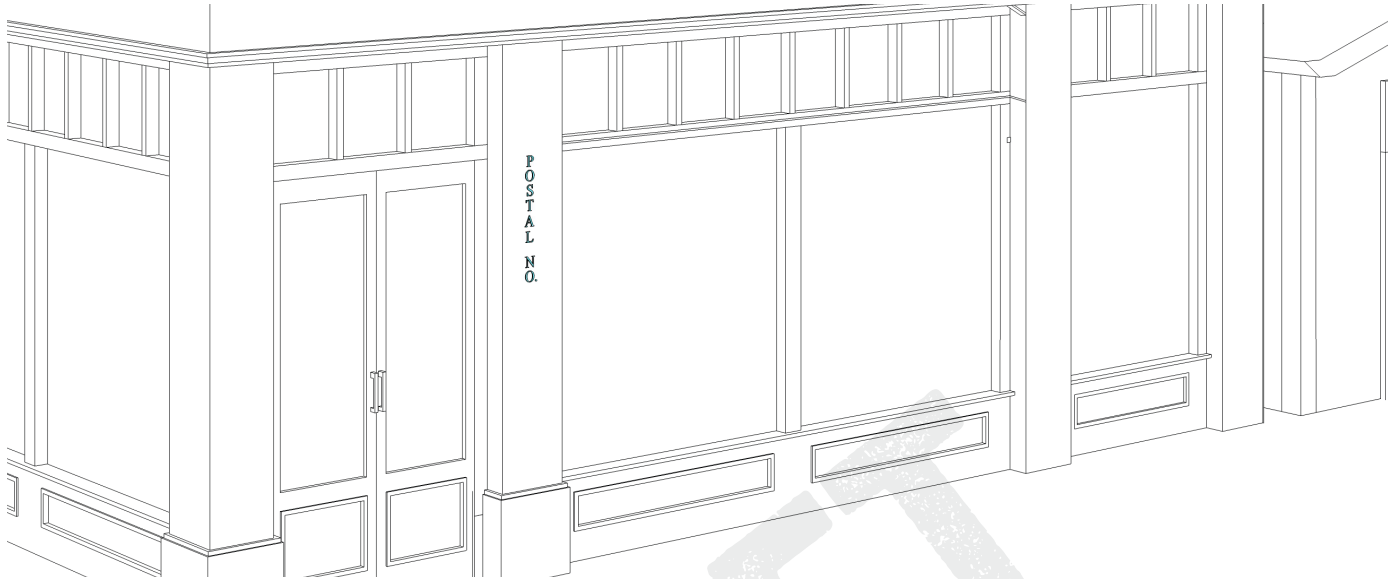
Specific Sign Type	Illustration	Districts
<p>Porch Sign Signs that are mounted on a Porch. Signs must be parallel to the Building Facade.</p>		<p>CD-4 SD-M CD-CV</p>
<p>Post Sign A Sign that is mounted on one or two posts in the Front Yard.</p>		<p>CD-4 SD-M CD-CV</p>
<p>Sidewalk Sign A free-standing, double-sided Sign with lettering painted or applied to the surface, placed at the entrance to a Building in a primarily pedestrian environment. Sidewalk Signs provide secondary signage.</p>		<p>CD-4 CD-5 SD-M CD-CV</p>
<p>Wall Sign A Sign that is flat against the Facade of a Secondary Frontage. These Signs are typically painted directly on the Building and contain a combination of text and graphic elements. They are intended to be visible from a greater distance and shall be accompanied by additional signage on the Facade at the Principal Frontage.</p>		<p>CD-4 CD-5 SD-M CD-CV</p>
<p>Window Sign A Sign that is professionally painted, consisting of individual letters and designs, applied directly on the window or hanging inside or outside a window.</p>		<p>CD-4 CD-5 SD-M CD-CV</p>

Illustrations are provided for illustrative purposes only.

SECTION 730: SIGN STANDARDS

ADDRESS

TABLE 730.2-2 SIGN TYPES
SPECIFIC STANDARDS



Permitted Districts

- CD-3
- CD-4
- CD-5
- SD-M
- CD-CV

General Description

A Sign that consists of a numeric reference to a Structure, mounted on the Building.

Dimensions

Quantity (max)	1 per address
Area	Max. 2 sq. ft.
Depth / Projection	Max. 3 in.
Clearance	Min. 4.5 ft.
Letter Height	Min. 4 in., max. 6 in.

AWNING SIGN

TABLE 730.2-2 SIGN TYPES
SPECIFIC STANDARDS



Permitted Districts

CD-4 | **CD-5** | **SD-M** | **CD-CV**

General Description

An awning that contains lettering painted, screen printed, or appliqueed on the awning valance.

Dimensions

Quantity (max)	1 per window
Width / Height	Max. width = width of Facade Max. height = NA Letters, numbers, and graphics covering no more than 70% of the valance area
Depth / Projection	Min. 8 ft. fully extended, back of Curb, whichever is less
Clearance	Min. 8 ft.
Letter Height	Min. 5 in., max. 10 in.
Valance Height	Max. 12 in.

Additional Standards

In addition to all other applicable standards, each Awning Sign allowed under this Section:

- a. shall be only on an awning that:
 - i. does not conceal an architectural feature;
 - ii. has no side panels or soffit;
 - iii. is rectangular in elevation and triangular in cross-section with straight edges and is not quarter-round or domed; and
 - iv. has a metal structure covered in opaque authentic or synthetic canvas or painted metal; and
- b. shall be limited to the valance of the awning.

SECTION 730: SIGN STANDARDS

BAND SIGN

TABLE 730.2-2 SIGN TYPES
SPECIFIC STANDARDS



Permitted Districts

CD-4 | **CD-5** | **SD-M** | **CD-CV**

General Description

A Sign that is flat against the Facade and placed directly above the main entrance and often run horizontally along the entablature of traditional Buildings. Band Signs are typically intended to be seen from a distance and are often accompanied by additional pedestrian-scaled signage.

Dimensions

Quantity (max)	1 per first floor Business Frontage
Area	1.5 sq. ft. per linear ft. of Facade
Width / Height	Max. 100% width of business Facade / max. 3 ft.
Depth / Projection	Max. 7 in.
Clearance	Min. 7 ft.

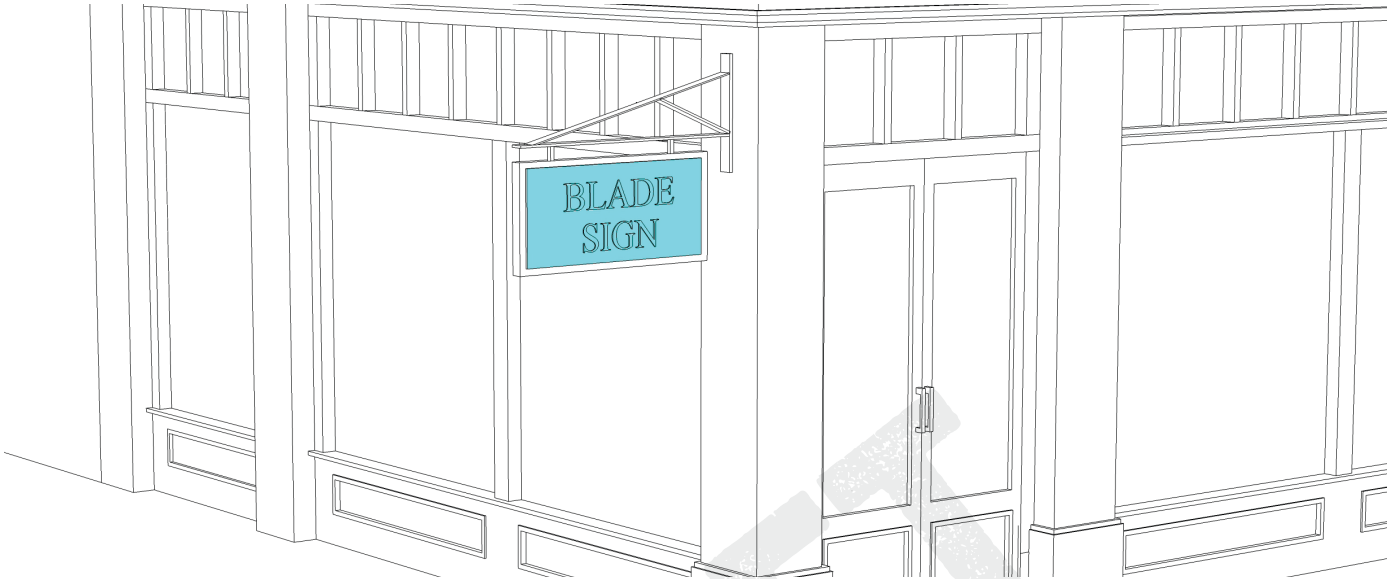
Additional Standards

In addition to all other applicable standards, each Band Sign allowed under this Section:

- shall be applied to the first Story Facade and not project vertically above the roof line;
- shall have letters individually attached to the wall, on a separate background panel affixed to the wall, or printed or etched on the same surface as the background; and
- shall not obscure any architectural element of the Building and shall be in vertical alignment with the center of an architectural element such as a storefront window or entrance, or centered over the bay or overall space occupied by the business.

BLADE SIGN

TABLE 730.2-2 SIGN TYPES
SPECIFIC STANDARDS



Permitted Districts

CD-4 | CD-5 | SD-M | CD-CV

General Description

A Sign mounted on the first floor of a Building perpendicular to a Building Facade Wall, typically hung from decorative cast or wrought iron bracket in a manner that permits it to swing slightly. These Signs are small, pedestrian-scaled, and easily read from both sides.

Dimensions

Quantity (max)	1 per business, no closer than 18 ft. from another Blade Sign
Area	8 sq. ft.
Width / Height	Max. 2 ft. / Max. 4 ft.
Depth / Projection	Max. 4 ft.
Clearance	Min. 8 ft. clear above the Sidewalk
Letter Height	Max. 8 in.

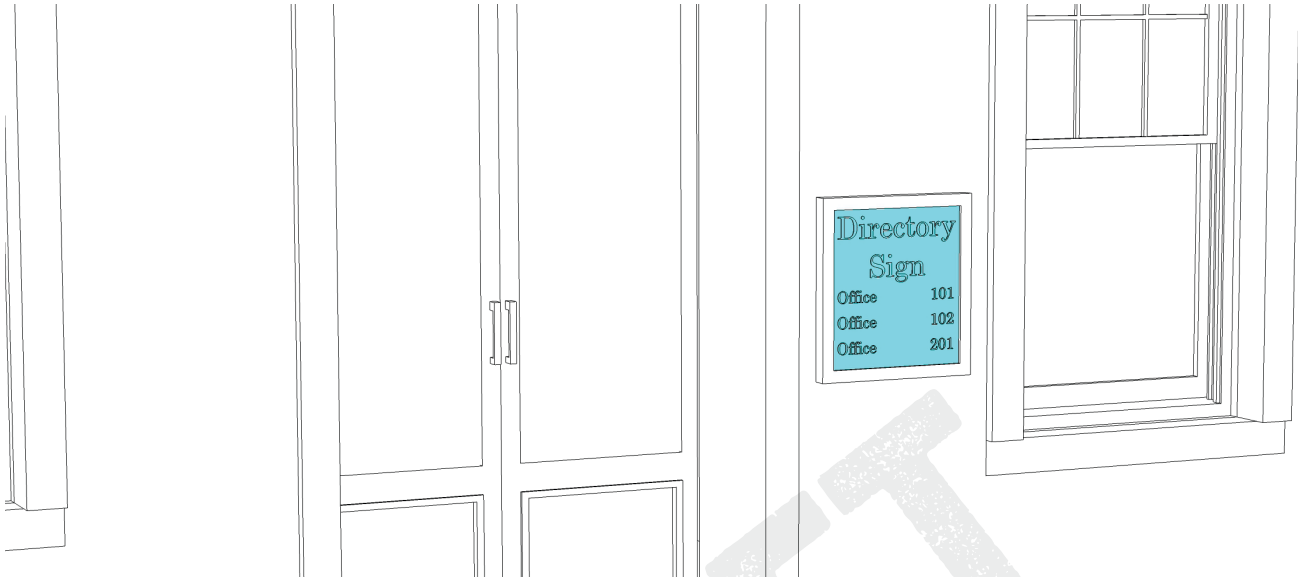
Additional Standards

In addition to all other applicable standards, each Blade Sign allowed under this Section:

- shall be located lower than sills of a second Story window;
- shall be permanently installed perpendicular to the Facade; and
- all exposed edges of the Sign shall be finished.

SECTION 730: SIGN STANDARDS

DIRECTORY SIGN TABLE 730.2-2 SIGN TYPES SPECIFIC STANDARDS



Permitted Districts

CD-4 | CD-5 | SD-M | CD-CV

General Description

A Sign that displays the tenant names and locations for a Building containing multiple tenants.

Dimensions

Quantity (max)	1 per ground floor entrance to upper floor business(es)
Area	6 sq. ft. max.
Width / Height of Sign Panel	2 ft. max. width / 3 ft. max. height

Additional Standards

In addition to all other applicable standards, each Directory Sign allowed under this Section:

- a. shall be attached to and parallel with the first floor Facade; and
- b. shall not be attached to or placed within shopfront windows.

LARGE PROJECTING SIGN

TABLE 730.2-2 SIGN TYPES
SPECIFIC STANDARDS



Permitted Districts

CD-5 | **CD-CV**

General Description

A Sign attached above the first floor of a multi-floor Building and projecting from a Building Facade at a 90-degree angle, or if oriented to a Block corner, a 45 degree angle.

Dimensions

Quantity (max)	1 per Building
Height (max)	Max. width = width of Facade Max. height = NA Letters, numbers, and graphics covering no more than 70% of the valance area
Area (max)	Min. 8 ft. fully extended, back of Curb, whichever is less
Clearance	Min. 8 ft.
Letter Height	Min. 5 in., max. 10 in.
Depth (max)	Max. 12 in.
Projection (max)	7 ft. over Sidewalk, but may not project past back of Curb

Additional Standards

In addition to all other applicable standards, each Large Projecting Sign allowed under this Section:

- shall be made of metal or other material more than one-half (1/2) inch in thickness;
- shall be permanently installed to the Facade; and
- shall not be internally lighted or backlit except behind cut-out letters and otherwise shall be lighted with neon tubing or other external means.

SECTION 730: SIGN STANDARDS

MARQUEE SIGN TABLE 730.2-2 SIGN TYPES SPECIFIC STANDARDS



Permitted Districts

CD-5 | **CD-CV**

General Description

A Sign that is located either along the Facade where it projects perpendicular to the Facade or at the corner of a Building where it projects at a 45 degree angle. These Signs often extend beyond the parapet of the Building, but may also terminate below the cornice or eave. Marquee Signs may have neon lettering used in conjunction with painted colored or changeable lettering.

Dimensions

Quantity (max)	1 per Principal Frontage
Width / Height	Centered on and no more than 4 ft. wider than Principal Entrance bay
Depth / Projection	Min. 4 ft., max. 10 ft. over Sidewalk
Clearance	Min. 10 ft. from Sidewalk
Letter Height	Removable letter height max 6 in., permanent letter height max. 36 in.
Distance from Curb	Min. 3 ft.

Additional Standards

In addition to all other applicable standards, each Marquee Sign allowed under this Section:

- a. shall not be internally lighted or backlit except behind the panels from which changeable letters are hung and shall otherwise be lighted with neon tubing or other external means;
- b. shall be located only above the Principal Entrance of a Building and attached parallel to the Facade, or if such Building is located on a corner, then such Sign may be located at and attached perpendicular to the corner of the Building;
- c. shall not have any supports more than eight (8) feet deep and all anchors, bolts, and supporting rods must be concealed within its interior; and
- d. together with all anchors, bolts, supporting rods and braces, shall be constructed of high quality non-combustible or non-corrodable components and materials and shall be designed by a structural engineer and be subject to approval by the Building Inspector.

MONUMENT SIGN TABLE 730.2-2 SIGN TYPES SPECIFIC STANDARDS



Permitted Districts

CD-4 | SD-M | CD-CV

General Description

A Sign that is erected on a solid base directly on the ground, and that is itself constructed of a solid material.

Dimensions

Quantity (max)	1 per Frontage
Area (max)	18 sq. ft.
Height (max)	6 ft.
Letter Height	Max. 12 in.

Additional Standards

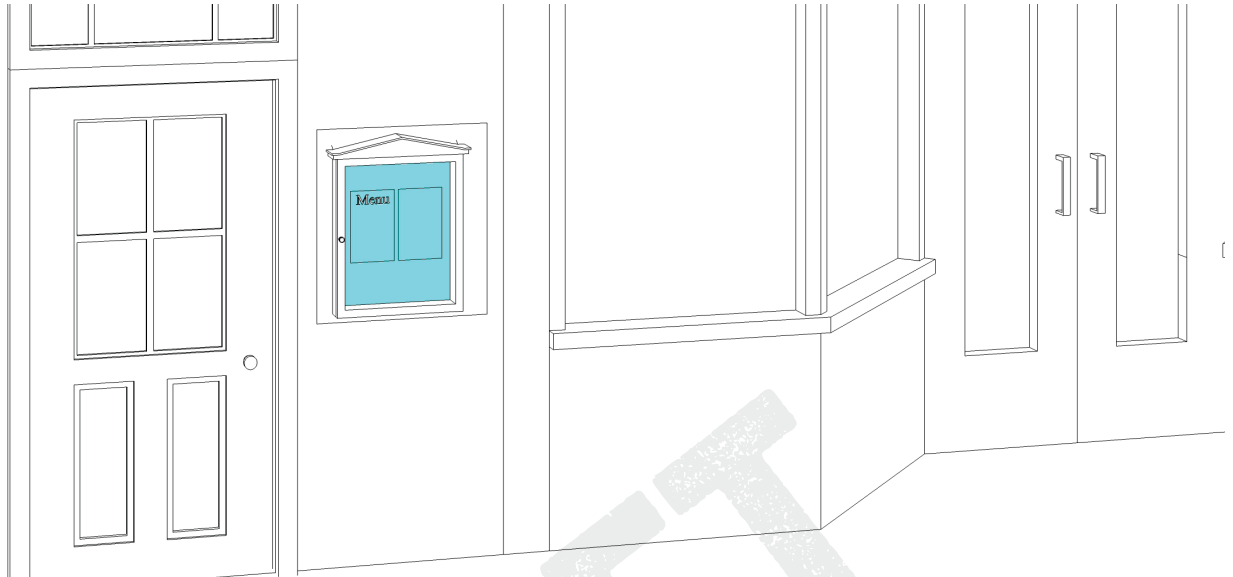
In addition to all of the applicable standards, each Monument Sign allowed under this Section:

- a. shall be located within the First Layer;
- b. shall incorporate a supporting base that is at least seventy-five (75) percent of the width of the Sign face at its widest point;
- c. shall have a supporting base constructed of brick, stone, masonry or scored concrete; and
- d. shall not be allowed if there is a Post Sign on the Lot.

SECTION 730: SIGN STANDARDS

OUTDOOR DISPLAY CASE

TABLE 730.2-2 SIGN TYPES
SPECIFIC STANDARDS



Permitted Districts

CD-4 | CD-5 | SD-M | CD-CV

General Description

A Sign consisting of a lockable metal- or wood-framed cabinet with a hinged transparent door inside of which information may be viewed and accessed for maintenance and updating.

Dimensions

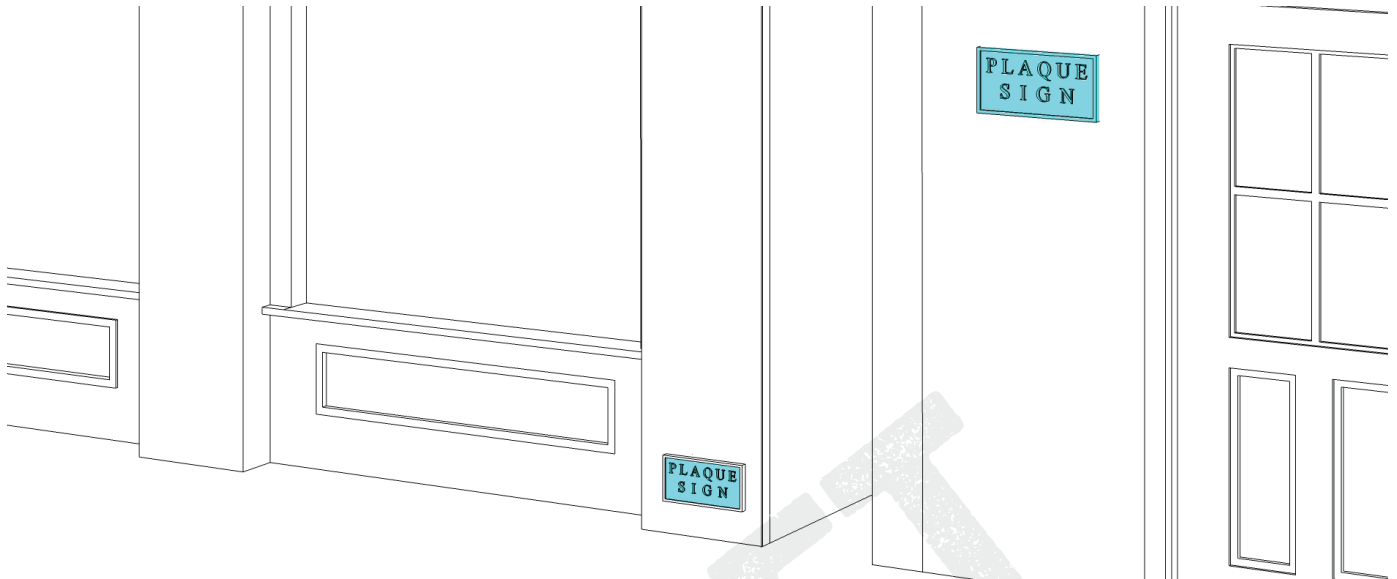
Quantity (max)	1 per Principal Frontage
Area	Max. 8 sq. ft., except in the case of theaters, which may not exceed 20 sq. ft.
Depth / Projection	Max. 5 in.
Clearance	Min. 30 in.
Letter Height	Not Regulated

Additional Standards

In addition to all other applicable standards, each Outdoor Display Case allowed under this Section:

- shall be permanently attached to and parallel with the first floor Facade;
- may be externally illuminated or lighted by a recessed light source within the cabinet; and
- shall not be attached to or be placed within shopfront windows.

PLAQUE SIGN TABLE 730.2-2 SIGN TYPES SPECIFIC STANDARDS



Permitted Districts

CD-3 | CD-4 | CD-5 | SD-M | CD-CV

General Description

A Sign that identifies a Building or its builder, or on professional office Buildings, which might name the firm or partners in a firm. May also be referred to as an Architectural Sign.

Dimensions

Quantity (max)	1 per Principal Frontage
Area	Max. 2 sq. ft.
Width / Height	Max. 18 in. / Max. 2 ft.
Depth / Projection	Max. 3 in.
Mounting Height max	7 ft.

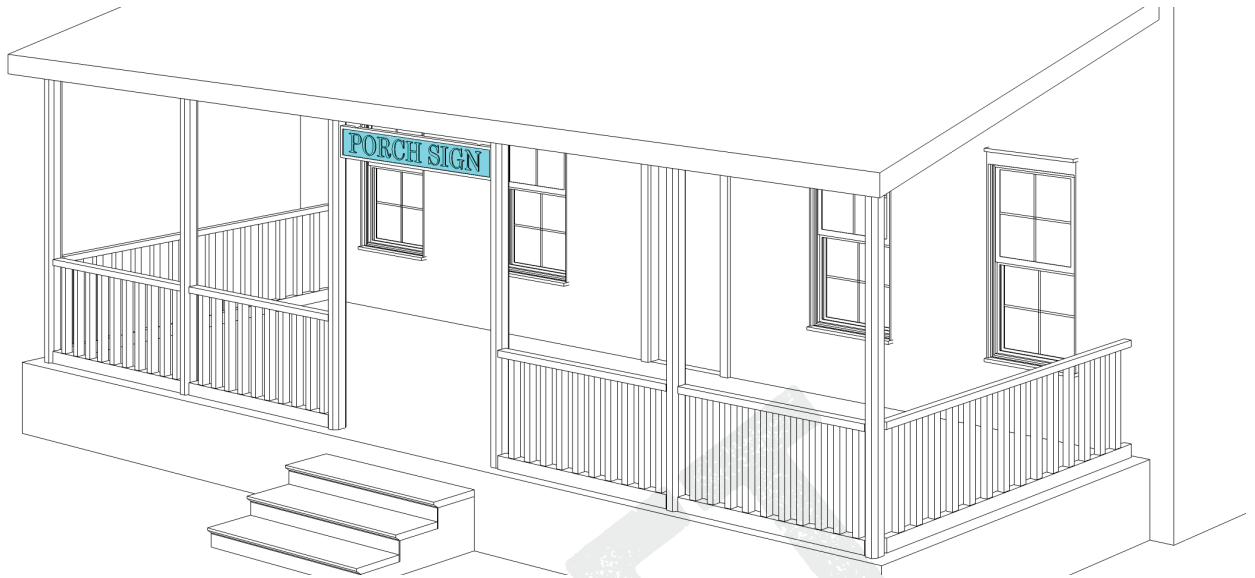
Additional Standards

In addition to all other applicable standards, each Plaque Sign allowed under this Section shall consist of either a panel or individual letters inset or applied flush with a Building wall within ten (10) feet of an entrance to the Building.

No more than one (1) Plaque Sign may be used for a Home Occupation in CD-3.

SECTION 730: SIGN STANDARDS

PORCH SIGN TABLE 730.2-2 SIGN TYPES SPECIFIC STANDARDS



Permitted Districts

CD-4 | SD-M | CD-CV

General Description

Signs that are mounted on a Porch. Signs must be placed parallel to the Building Facade.

Dimensions

Quantity (max)	1 per address (2 for corner Building)
Area	Max. 6 sq. ft.
Width / Height	Max. 100% width of entrance / Max. 2 ft.
Depth / Projection	Not Applicable
Clearance	Min. 7 ft.
Letter Height	Max. 8 in.

Additional Standards

In addition to all other applicable standards, each Porch Sign allowed under this Section:

- a. shall be hung above the entrance to the Porch or elsewhere on the architrave (beam at top of columns); and
- b. shall be permanently installed parallel to the Facade of the Building.

POST SIGN TABLE 730.2-2 SIGN TYPES SPECIFIC STANDARDS



Permitted Districts

CD-4 | SD-M | CD-CV

General Description

A Sign that is mounted on one or two posts in the First Layer.

Dimensions

Quantity (max)	1 per Building
Area	12 sq. ft.
Width / Height of Sign panel	Max. 48 in. / Max. 40 in.
Apex	4 ft.
Letter Height	Max 10 in.

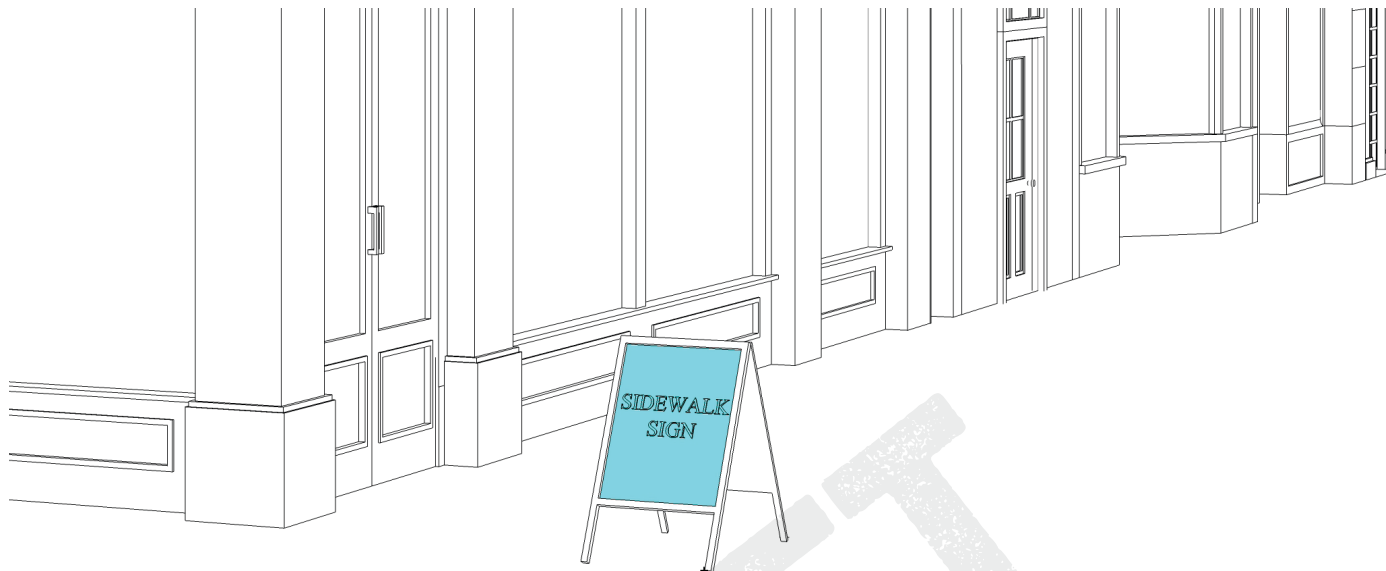
Additional Standards

In addition to all other applicable standards, each Post Sign allowed under this Section:

- may be mounted on one (1) or two (2) posts;
- shall be set perpendicular to the Building Facade; and
- shall not be allowed if there is a Monument Sign on the Lot.

SECTION 730: SIGN STANDARDS

SIDEWALK SIGN TABLE 730.2-2 SIGN TYPES SPECIFIC STANDARDS



Permitted Districts

CD-4 | CD-5 | SD-M | CD-CV

General Description

A free-standing, double-sided Sign with lettering painted or applied to the surface, placed at the entrance to a Building in a primarily pedestrian environment.

Dimensions

Quantity	1 per business
Area	Max. 10 sq. ft.
Width / Height	Max. 30 in. / Max. 48 in.

Additional Standards

In addition to all other applicable standards, each Sidewalk Sign allowed under this Section:

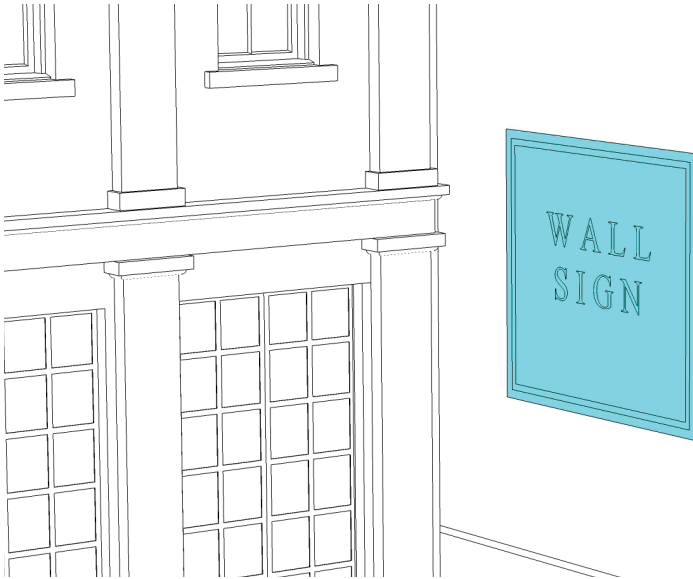
- a. shall be located directly in front of the space occupied by the sign permit holder;
- b. shall not be placed so as to cause the width of the sidewalk to be reduced below five (5) feet in width, nor shall they be erected or maintained in a manner

Additional Standards (continued)

- that prevents free ingress and egress from any door, window, or fire escape;
- c. shall be marked with the approved permit or permit number. Sidewalk Signs without permits shall be disposed of at owner's expense;
- d. shall not be illuminated or have any moving parts;
- e. shall only be displayed between 9:00 a.m. and 11:00 p.m. and shall be removed from public Rights-of-Way in the event of snow accumulation until such time that accumulation is removed;
- f. shall not be made of paper or cardboard; and
- e. may be removed by the City from the Right-of-Way for municipal purposes.

WALL SIGN

TABLE 730.2-2 SIGN TYPES
SPECIFIC STANDARDS



Permitted Districts

CD-4 | CD-5 | SD-M | CD-CV

General Description

A Sign that is flat against the Facade of a Secondary Frontage. These Signs are typically painted directly on the Building and contain a combination of text and graphic elements. They are intended to be visible from a greater distance and shall be accompanied by additional signage on the Facade at the Principal Frontage.

Dimensions

Quantity (max)	1 per business
Area	Max. 32 sq. ft.
Depth / Projection	3 in.
Clearance	4 ft.

Additional Standards

In addition to all other applicable standards, each Wall Sign allowed under this Section:

- shall not project vertically above the roof line;
- shall include only letters, background, lighting, and an optional logo, with such information shall consist only of the name and/or logo of the businesses located in such Building;
- shall have letters individually attached to the wall, on a separate background panel affixed to the wall, or painted, printed or etched on the same surface as the background; and
- shall not obscure any architectural element and be in vertical alignment with the center of an architectural element such as a storefront window or entrance, or centered over the bay or overall space occupied by the businesses.

SECTION 730: SIGN STANDARDS

WINDOW SIGN TABLE 730.2-2 SIGN TYPES SPECIFIC STANDARDS



Permitted Districts

CD-4 | CD-5 | SD-M | CD-CV

General Description

A Sign applied directly on the inside of a window or hanging inside a window.

Dimensions

Quantity	2 per business
Area	Max. 33% of glass onto which it is applied; if hanging inside, max. 12 in. from inside of window.

Additional Standards

In addition to all other applicable standards, each Window Sign allowed under this Section:

- a. shall be of one of the following types:
 - i. Letters painted or applied directly on the window;
 - ii. Hanging sign that hangs parallel to the window;
 - iii. Neon sign; and
 - iv. Door sign applied to or hanging inside the glass portion of an entrance doorway.
- b. shall not interfere with the primary function of windows, which is to enable passersby and public safety personnel to see through windows into premises and view product displays; and
- c. may list services and/or products sold on the premises, or provide phone numbers, operating hours or other messages, provided that the total aggregate area of these messages shall not exceed the area dimensional limit provided herein.

**THIS PAGE INTENTIONALLY
LEFT BLANK**

DRAFT

SECTION 740

DEFINITIONS

This Section 740 provides definitions for certain capitalized terms used in this Article VII. Other capitalized terms are defined elsewhere in this Article.

If not defined in this Article VII, capitalized terms shall have the meanings assigned to them in Article II of the City Zoning Ordinance.

The definitions included in this Article VII are applicable only to this Article and shall not be applicable to any other part of the City Zoning Ordinance.

If a term used in this Article VII is defined both in this Article and in another part of the City Zoning Ordinance, the definition in this Article VII shall be controlling as applied within this Article VII. In the event of conflicts between the definitions in this Article VII and definitions in other parts of the City Zoning Ordinance, those of this Article shall take precedence as applied to this Article.

A

Address Sign: a Sign type, described as such in **Table 730.2-1 (Sign Types – Summary)** and **Table 730.2-2 (Sign Types – Specific Standards)**.

Adjacent: having any distance of real property boundary in common with another property, or being separated from the other property boundary by a right-of-way, Thoroughfare, Alley, Easement, or Civic Space. Not synonymous with Abutting.

Adult Entertainment Establishment: as defined in the City of Monroe Code of Ordinances, Chapter 22, Article II.

Alcoholic Beverage: any fermented liquor, such as wine, beer, or distilled spirit, which contains ethyl alcohol (ethanol) as an intoxicating agent.

Alcoholic Beverage Retail Sales: an establishment engaged in the Retail sale of Alcoholic Beverages for off premises consumption.

Arcade: a Private Frontage type that is conventional for Commercial Use, wherein a colonnade supporting habitable space in one (1) or more upper levels overlaps the Sidewalk, while the Facade at the first level remains at the Frontage Line. See **Table 720.5.1 (Private Frontage Types)**.

Artisan Establishment: any Structure, premises, or establishment in or on which articles of artistic quality or effect or handmade workmanship are produced with or without Retail Sales of such articles. Examples of activities that may be conducted in an Artisan Establishment are surfboard making, candle making, furniture making, glass blowing, weaving, pottery making, woodworking, sculpting, and painting. An Artisan Establishment is not an Industrial Use.

Awning Sign: a Sign type, described as such in **Table 730.2-1 (Sign Types – Summary)** and **Table 730.2-2 (Sign Types – Specific Standards)**. Not synonymous with “Awning and Canopy Sign” as defined in Article XIII of the City Zoning Ordinance.

SECTION 740: DEFINITIONS

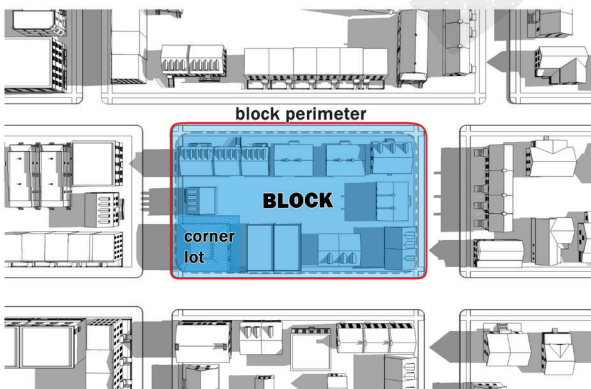
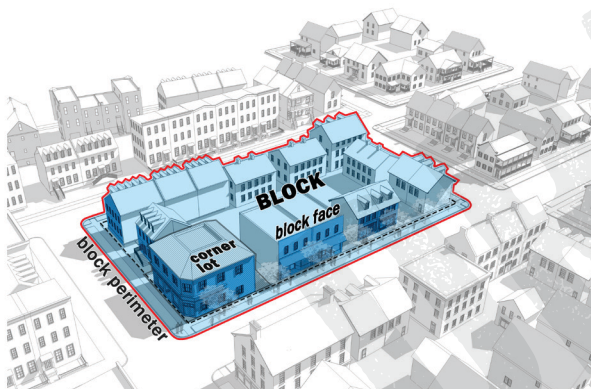
B

Band Sign: a Sign type, described as such in **Table 730.2-1 (Sign Types – Summary)** and **Table 730.2-2 (Sign Types – Specific Standards)**.

Blade Sign: a Sign type, described as such in **Table 730.2-1 (Sign Types – Summary)** and **Table 730.2-2 (Sign Types – Specific Standards)**.

Block: the aggregate of private Lots, Passages, Rear Alleys and Rear Lanes, circumscribed by Thoroughfares, or where applicable, circumscribed by Thoroughfares, Civic Space, and/or waterbodies. Not synonymous with “Block” as defined in Article II.

ILLUSTRATION 740.B BLOCK



Block Face: the aggregate of all Building Facades on the side of a Block. See **Illustration 740.B (Block)**.

Brew Pub: a type of Restaurant that also brews and may can Alcoholic Beverages on-site in accordance with all state and local laws, rules, regulations, and licensing requirements. A Brew Pub is not an Industrial Use.

Building Element: any component or part of a Building.

Building Height: the number of Building Stories above finished grade. Not synonymous with “Building Height” as defined in Article II of the City Zoning Ordinance.

Business Service Establishment: establishments primarily engaged in rendering services to business establishments on a fee or contract basis, such as advertising, typing, duplicating, mailing, building maintenance, employment, consulting, protective services, collection, photofinishing, office equipment rental, repair, leasing, and other similar services.

C

Car-Share: a type of short-term vehicle rental which can substitute for car ownership by providing cars parked within neighborhoods.

Character District: defined in 710.1.2 of this Character-Based Code. See **Table 720.2.1 (District Standards)**.

Civic: the term describing activities, Uses, purposes and governmental or not-for-profit organizations that are dedicated to arts, culture, Education, religion, recreation, government, transit, municipal parking, gardening, horticulture, public gathering, assembly or meeting.

Civic Building: a Building operated by a not-for-profit organization or governmental entity dedicated to Civic activities, Uses, and purposes. See **Table 720.5.7-A (Building Types – Summary)** and **Table 720.5.7-B (Building Types – Specific Standards)**.

Civic Space: an area designed for Civic activities, Uses, or purposes in accordance with Section 720.15.2. See **Table 720.12.2.A (Civic Space Types – Summary)** and **Table**

SECTION 740: DEFINITIONS

720.12.2.B (Civic Space – Specific Standards).

College or University: See “Educational Facilities, University/College” as defined in Article II.

Commercial Building: See **Table 720.5.7-A (Building Types – Summary)** and **Table 720.5.7-B (Building Types – Specific Standards)**.

Commercial Street: See **Table 720.11.2.C (Thoroughfare Types – Summary)** and **Table 720.11.2.D (Thoroughfare Assemblies & Standards)**.

Commercial Use(s): the Use category designated as such in **Table 720.7.1 (Permitted Principal Uses)**, involving Commercial activities and endeavors, excluding Residential Uses, Office Uses, Industrial Uses, Institutional Uses, Lodging Uses, Civic Uses, Vehicular Uses, Educational Uses, Transportation Uses, Agricultural Uses, Amusement & Entertainment Uses, and Utilities & Area Service Provider Facilities Uses, each as designated in **Table 720.7.1 (Permitted Principal Uses)**.

Commercial Front: a Private Frontage type wherein the Facade is aligned close to or at the Frontage Line with the Building entrance at or above Sidewalk grade. It may have substantial glazing on the Facade. See **Table 720.5.1 (Private Frontage Types)**.

Common Destination: an area of focused community activity, usually defining the approximate center of a Pedestrian Shed. It may include without limitation one (1) or more of the following: a Civic Space, a Civic Building, a Commercial center, or a Transit Station, and may act as the social center of a neighborhood.

Common Yard: a planted Frontage wherein the Facade is set back substantially from the Frontage Line, and the front yard so created remains unfenced and is visually continuous with abutting yards, supporting a common landscape. See **Table 720.5.1 (Private Frontage Types)**.

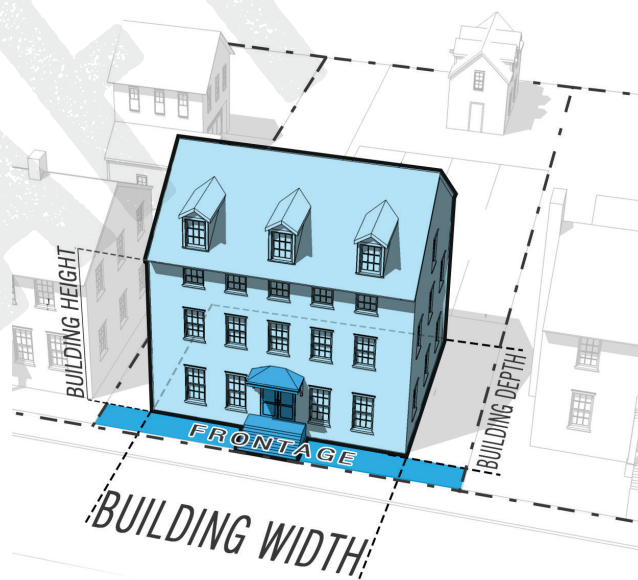
Community College: See “Educational Facilities, University/College” as defined in Article II.

Community Garden: Civic Space type for the cultivation of fruits, flowers, vegetables, or ornamental plants by more than one (1) person or family, described as such in **Table 720.12.2.A (Civic Space Types – Summary)** and **Table 720.12.2.B (Civic Space – Specific Types)**.

Conditional Use: as described in Section 1525 of the City Zoning Ordinance.

Configuration: the form of a Building, including its massing, Private Frontage, and height.

ILLUSTRATION 740.C CONFIGURATION



Convalescent Care Facility: an Intermediate Care Facility primarily engaged in providing inpatient nursing and rehabilitative services to residents who require watchful care and medical attention or treatment, but not on a continuous basis, with staff on duty 24-hours per day.

Corridor: a lineal geographic system incorporating a Thoroughfare, Greenway, or Open Space.

Cottage: the Building Type described as such in **Table 720.5.7-A (Building Types – Summary)** and **Table 720.5.7-B (Building Types – Specific Standards)**.

Curb: the edge of the vehicular pavement that may be either raised or flush with a swale to the extent allowed applicable Thoroughfare design regulations. It usually incorporates or is associated with the drainage system.

D

Decision-Making Authority: the City's Code Enforcement Officer, Planning and Zoning Commission, or City Council, as applicable, as authorized to review, make a recommendation with respect to, or take action on a proposal under this Article or any other provision of the City Zoning Ordinance.

Deck: an approximately horizontal, exterior floor-like platform Structure extending along or over one or more parts of a Building, which Structure may be covered or uncovered and enclosed or open excluding, however, a Porch.

Development/Develop: commencing, making or planning for man-made changes to land or other real property, and the resulting changes to such land or other real property, whether through Development, re-Development, clearing, excavation, grading, construction, re-construction, modification, subdivision, or re-subdivision, and whether such changes are horizontal, vertical, or subterranean.

Development Plan: any Site Plan depicting elements of a Development proposal, including existing and proposed characteristics and/or Improvements.

Development Site: a parcel of land which either alone or together with one (1) or more other parcels under a common Development scheme, program, or plan, is Developed or proposed to be Developed.

Directory Sign: a Sign type, described as such in **Table 730.2-1 (Sign Types – Summary)** and **Table 730.2-2 (Sign Types – Specific Standards)**. Not synonymous with "Tenant Directional Sign" as defined in Article XIII.

Dooryard: a Private Frontage type intended for ground floor Residential Use, wherein the Facade of the Building is set back a small distance and the Frontage is defined by a low wall, decorative Fence or hedge, creating a small raised, sunken, or at-grade Dooryard consisting of a front garden or patio. The Dooryard shall not be used for public circulation. See **720.5.1 (Private Frontage Types)**.

Drive: See **Table 720.11.2.C (Thoroughfare Types – Summary)** and **Table 720.11.2.D (Thoroughfare Assemblies & Standards)**.

Drive-In or Drive-Through: any accommodation designed or used for the transaction of business wherein the patrons may avail themselves of the services or products of an establishment while remaining in their vehicles, whether or not patrons are also able to obtain services or products inside of a Structure.

Driveway: a vehicular lane within a Lot, often leading to a Garage.

Duplex: as a Building Type. See **Table 720.5.7-A (Building Types – Summary)** and **Table 720.5.7-B (Building Types – Specific Standards)**.

E

Edgeyard: the yard type that results from a Building being set back from its Lot boundaries at the front, rear, and both sides.

Education or Educational: a Use category characterized by the process of receiving or giving instruction.

Elevation: as related to the exterior walls of a Building, one that is not along a Frontage Line; when not capitalized, "elevation" means the height above a given level or a

SECTION 740: DEFINITIONS

drawing or design that represents an object or Structure as being projected geometrically on a vertical plane parallel to one of its sides, as the context indicates. See also Facade.

Encroach: to break the plane of a vertical or horizontal regulatory limit (e.g. a Setback, the Public Frontage, a right-of-way, a height limit, or a property line) with a structural element.

Encroachment: the condition wherein the plane of a vertical or horizontal regulatory limit (e.g. a Setback, the Public Frontage, a right-of-way, a height limit, or a property line) is broken with a structural element.

Enfront: to place, or the location of, an element along a Frontage, as in "Porches Enfront the street."

F

Facade: an exterior wall of a Building that is set along a Frontage Line. See **Illustration 720.5.2 (Frontage and Lot Lines)**. Facades define the public realm and are therefore more regulated than the Elevations facing other Lot Lines.

Fence: (1) as a Private Frontage Type, a Frontage wherein the Facade is set back from the Frontage Line, and the front yard so created is separated from the Public Frontage by a Fence. See **Table 720.5.1 (Private Frontage Types)**.

(2) as a Structure, a device erected to serve as an architectural element, landscape element, Screen, Streetscreen, or physical barrier.

Flex Building: See **Table 720.5.7-A (Building Types - Summary)** and **Table 720.5.7-B (Building Types - Specific Standards)**.

Forecourt: a Private Frontage wherein a portion of the Facade is close to the Frontage Line and the central portion is set back, creating a gathering space for residents or additional shopping or dining area. This type

should be used sparingly and may be used in conjunction with other Private Frontage types. See **Table 720.5.1 (Private Frontage Types)**.

Frontage: the area between a Facade and a Path, Passage, waterbody, Civic Space, or the Curb (or if there is no Curb, the edge) of the Vehicular Lanes of a Thoroughfare, inclusive of the built and planted components of such area. Frontage is divided into Private Frontage and Public Frontage. See **Illustration 740.P-3 (Private Frontage)**, **Illustration 740.P-4 (Public Frontage)**, and **Table 720.5.1 (Private Frontage Types)**. Not synonymous with "Lot Frontage" as defined in Article II.

Frontage Line: a Lot Line bordering a Public Frontage. Not synonymous with "Lot Frontage" as defined in Article II.

G

Gallery: with respect to the Frontage, the Private Frontage type conventional for Commercial Use, wherein the Facade is aligned close to the Frontage Line with an attached cantilevered shed or lightweight colonnade overlapping the Sidewalk. See **Table 720.5.1 (Private Frontage Types)**.

General Retail: establishments primarily engaged in offering, selling, renting, or leasing new or used goods in person, online, or by mail in transactions dealing directly with the consumer of the goods.

Green: a Civic Space type for unstructured recreation, spatially defined by landscaping rather than Building Frontages. See **Table 720.12.2.A (Civic Space Types - Summary)** and **Table 720.12.2.B (Civic Space - Specific Standards)**.

Greenway: generally, a Corridor encompassing a trail for bicycles and pedestrians. The trajectory of a Greenway should lead through rural as well as urban areas, connecting the countryside to urban Civic Spaces. The landscaping pattern should be appropriate to the location: naturalistic within the countryside, and formal within the

neighborhoods. A Greenway should follow the natural trajectory which is transformed to its purpose.

Governing Body: the City Council of Monroe, Georgia.

H

Health Care Facility: as defined under O.C.G.A. Section 31-6-2(17), whether Institutional or Commercial.

Hotel: an establishment that offers for Transient Occupancy, on a daily or weekly basis for compensation, sleeping accommodations accessible from interior hallways. Not synonymous with Motel, Bed and Breakfast, or Bed and Breakfast (Inn). Neither a Hotel nor a room therein is a Short-Term Rental.

House: See **Table 720.5.7-B (Building Types – Specific Standards)**.

I

Improvement: any man-made alteration of land, a Lot, a Building or a Structure.

Industrial Uses: the category of Uses designated as such in **Table 720.7.1 (Permitted Principal Uses)**.

Institutional Uses: the category of Uses designated as such in **Table 720.7.1 (Permitted Principal Uses)**.

Intermediate Care Facility: an institution which provides, on a regular basis, health related care and services to individuals who do not require the degree of care and treatment which a Hospital or Skilled Nursing Facility is designed to provide but who, because of their mental or physical condition, require health related care and services beyond the provision of room and board.

L

Laboratory: a place where scientific studies are conducted, including testing, research, or analysis of a medical, chemical, physical, biological, mechanical, or electronic nature.

Large Multi-Family Building: See **Table 720.5.7-A (Building Types – Summary)** and **Table 720.5.7-B (Building Types – Specific Standards)**.

Large Projecting Sign: a Sign type, described as such in **Table 730.2-1 (Sign Types – Summary)** and **Table 730.2-2 (Sign Types – Specific Standards)**. Not synonymous with "Swinging or Projecting Sign" as defined in Article XIII.

Layer: a range of depth of a Lot within which certain elements are permitted. See **Illustration 720.3.1 (Layers)**.

The terms First Layer, Second Layer, and Third Layer shall have the following meanings:

First Layer: the portion of a Lot between the Frontage Line and the line of the Building Facade furthest from the Frontage Line.

Second Layer: the portion of a Lot between (a) the line of the First Layer which is parallel to and farthest from the Frontage Line and (b) a line which is parallel to and 20 feet from the line described in clause (a). With respect to a Secondary Frontage, the Second Layer and the Third Layer are combined to comprise all parts of the Lot which are not within the First Layer.

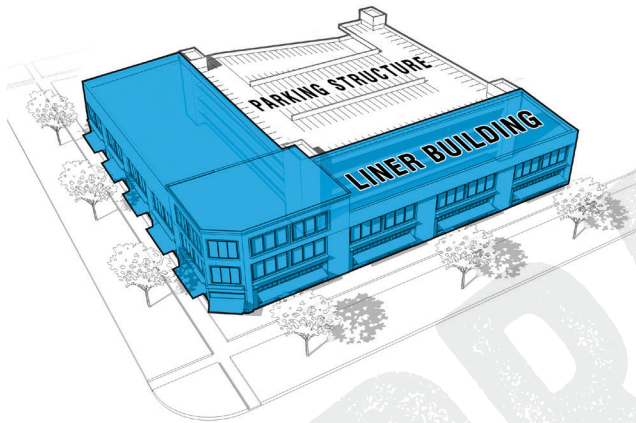
Third Layer: the portion of a Lot between (a) the rear Lot Line and (b) the line of the Second Layer which is parallel to and farthest from the Frontage Line. With respect to a Secondary Frontage, the Second Layer and the Third Layer are combined to comprise all parts of the Lot which are not within the First Layer.

SECTION 740: DEFINITIONS

Linear Pedestrian Shed: a Pedestrian Shed that is elongated along an important Corridor. A Linear Pedestrian Shed extends approximately 1/4 mile from each side of the Corridor. The resulting area is oblong. (Syn: elongated Pedestrian Shed). See **Illustration 700.12-B (Linear Pedestrian Shed)**.

Liner Building: a Building that is at least twenty (20) feet deep, measured from the Facade, which masks a Parking Lot or a Parking Structure from the Frontage. See **Illustration 740.L-1 (Liner Building)**.

ILLUSTRATION 740.L-1 LINER BUILDING



Live-Work: See **Table 720.5.7-A (Building Types - Summary)** and **Table 720.5.7-B (Building Types - Specific Standards)**.

Lodging: a Use category characterized by premises available for daily or weekly renting of bedrooms for periods of less than thirty (30) days.

Long Term Care Facility: a Personal Care Home with twenty-five (25) or more beds, an assisting living community, or a Skilled Nursing Home.

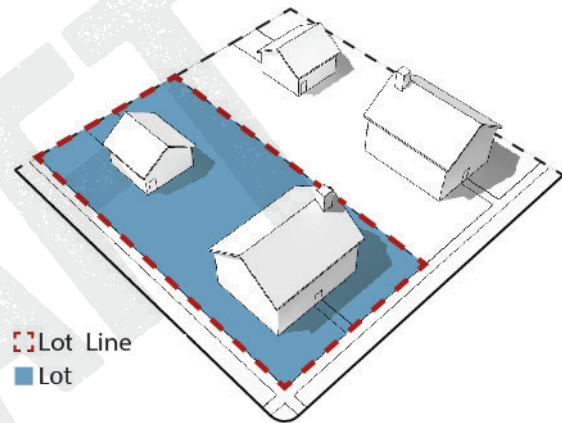
Lot: the basic Development unit, an area with fixed boundaries, used by one (1) Building and its Accessory and not divided by any Thoroughfare or Alley. A Lot must meet the requirements of the zoning district in which it is located and must have frontage on a public street.

Right of way shall not be included in the area of a Lot. Not synonymous with "Lot of Record" as defined in Article II.

Lot Coverage Ratio: the percentage which the total area of surfaces within a Lot that is covered by Impervious Surfaces bears to the total gross area of the Lot (a ratio of total Impervious Surface area to total Lot area).

Lot Line: the boundary that legally and geometrically demarcates a Lot. See **Illustration 740.L-2 (Lot Line)**. Not synonymous with "Lot Line" as defined in Article II.

ILLUSTRATION 740.L-2 LOT LINE



M

Marquee Sign: a Sign type, described as such in **Table 730.2-1 (Sign Types - Summary)** and **Table 730.2-2 (Sign Types - Specific Standards)**.

Mixed Use: multiple Uses within the same Building or on the same Lot through superimposition or Adjacency, or in multiple Buildings or on multiple Lots by Adjacency or proximity.

Mixed-Use Building: See **Table 720.5.7-A (Building Types - Summary)** and **Table 720.5.7-B (Building Types - Specific Standards)**.

Monument Sign: a Sign type, described as such in **Table 730.2-1 (Sign Types - Summary)** and **Table 730.2-2**

SECTION 740: DEFINITIONS

(Sign Types – Specific Standards). Not synonymous with “Ground Sign” or “Monument Sign” as defined in Article XIII.

Motel: an establishment where short-term Lodging in guest rooms is offered for compensation and one (1) or more rooms are accessed by exterior doors opening directly to exterior Parking accommodations, passageways, or the outdoors. Not synonymous with “Motel” as defined in Article II or with “Bed and Breakfast (B&B)”, “Bed and Breakfast Inn (B&B Inn)”, or “Hotel”.

N

Natural Area: a Civic Space type, described as such in **Table 720.12.2.A (Civic Space Types – Summary)** and **Table 720.12.2.A (Civic Space – Specific Standards)**.

Neighborhood Street: See **Table 720.11.2.C (Thoroughfare Types – Summary)** and **Table 720.11.2.D (Thoroughfare Assemblies & Standards)**.

Net Site Area: all developable land within a site including Thoroughfares, but excluding land allocated as Character District CD-CV (Civic).

Nursing Home: a skilled nursing care facility primarily engaged in providing full-time convalescent or rehabilitative care to individuals who, by reason of advanced age, chronic illness, or infirmity, are unable to care for themselves and require continuous care under the direction of a physician.

O

Office Uses: a Use category characterized by premises available for the transaction of commercial, governmental, professional, medical, dental, not-for-profit, or financial services.

Outdoor Display Case: a Sign type, described as such in **Table 730.2-1 (Sign Types – Summary)** and **Table 730.2-2 (Sign Types – Specific Standards)**.

Outdoor Storage: one (1) or more assemblages, collections, stacks, or stockpiles of vehicles, equipment, goods, materials, tanks, or other items in any area other than within a Building, including without limitation, parked operative or non-operative vehicles or equipment.

P

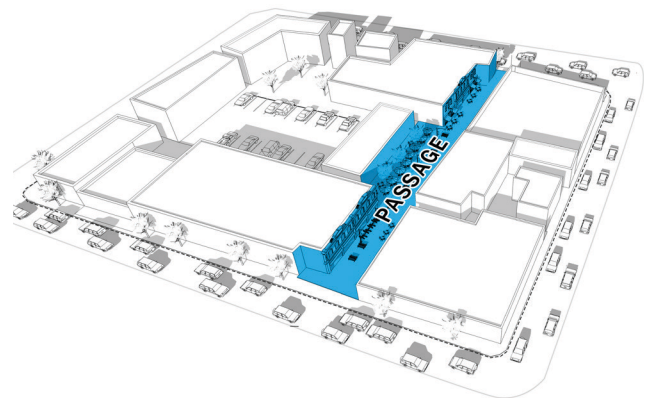
Parking Area: as defined in Article II. Not synonymous with Parking Lot.

Parking Lot: as defined in Article II. Not synonymous with Parking Area.

Parking Structure: a vertical Improvement containing one or more levels of vehicular parking above grade.

Passage: a pedestrian connector, open or roofed, which passes between Buildings to provide shortcuts through long Blocks and connect rear Parking accommodations to Frontages. See **Illustration 740.P-1 (Passage)**.

ILLUSTRATION 740.P-1 PASSAGE



Path: a pedestrian way traversing a Park or rural area, with landscape matching the contiguous open area, ideally connecting directly with the urban Sidewalk network.

SECTION 740: DEFINITIONS

Pedestrian Shed: an area of a size approximately equal to the average distance comfortably walked by pedestrians and approximately centered on a Common Destination. There are two types of Pedestrian Sheds: Standard Pedestrian Sheds and Linear Pedestrian Sheds. See Standard Pedestrian Shed or Linear Pedestrian Shed. See **Illustration 700.12-A (Standard Pedestrian Shed)** and **Illustration 700.12-B (Linear Pedestrian Shed)**.

Personal Service Establishment: establishments primarily engaged in providing services involving the care of a person or his or her apparel, such as barber, hairdresser, shoe repair, dry cleaning, tailoring and/or dressmaking, optician, health club, stylist shop, manicure establishment, tanning centers, rental, portrait studio, beauty/health spa, and other similar services.

Place of Assembly: a Building or space where large groups of people gather.

Placement: the manner in which a Building is situated on its Lot. See **Illustration 720.4.1 (Setback Designations)**, **Illustration 720.3.1 (Layers)**, and **Illustration 720.4.2 (Principal Building / Accessory Building)**.

Plan: any concept plan, sketch plan, Site Plan, Development Plan, Subdivision Plat or other Plan submitted pursuant to this Article VII or the City Development Regulations.

Planter: the element of the Public Frontage which accommodates Thoroughfare trees, whether continuous or individual, including without limitation, a planting strip.

Plaque Sign: a Sign type, described as such in **Table 730.2-1 (Sign Types – Summary)** and **Table 730.2-2 (Sign Types – Specific Standards)**.

Playground: a Civic Space type, described as such in **Table 720.12.2.A (Civic Space Types – Summary)** and **Table 720.12.2.B (Civic Space – Specific Standards)**.

Plaza: a Civic Space type designed for Civic and Commercial purposes, Uses and activities, generally

paved and spatially defined by Building Frontages. See **Table 720.12.2.A (Civic Space Types – Summary)** and **Table 720.12.2.B (Civic Space – Specific Standards)**.

Pocket Park: a Civic Space type, described as such in **Table 720.12.2.A (Civic Space Types – Summary)** and **Table 720.12.2.B (Civic Space – Specific Standards)**.

Porch: as part of a Building, an attached exterior covered area large enough to accommodate outdoor furniture and/or gathering; or as a Private Frontage type, one having a Porch and planted Frontage, with the Facade set back from the Frontage Line. A Porch Private Frontage may be used with or without a Fence to maintain right-of-way spatial definition. See **Table 720.5.1 (Private Frontage Types)**.

Porch Sign: a Sign type, described as such in **Table 730.2-1 (Sign Types – Summary)** and **Table 730.2-2 (Sign Types – Specific Standards)**.

Portable Storage Container: any container designed for the storage of personal property that is owned or leased by the owners or occupants of the property for storage and is typically delivered and removed by truck trailer.

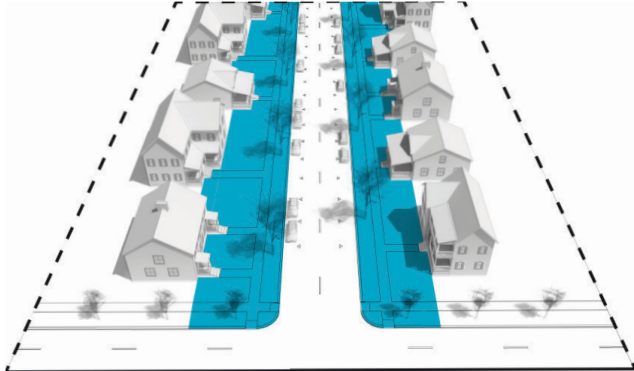
Post Sign: a Sign type, described as such in **Table 730.2-1 (Sign Types – Summary)** and **Table 730.2-2 (Sign Types – Specific Standards)**.

Principal Entrance: the main point of access for pedestrians into a Building.

Principal Frontage: (a) with respect to Lots that have more than one Private Frontage, the Private Frontage designated to bear the address and the Principal Entrance to the Building, and the measure of Lot Width. For Corner Lots, prescriptions for the location of Parking in certain Layers pertain only to the Principal Frontage and prescriptions for the First Layer pertain to both Frontages. For Through Lots, prescriptions for the location of Parking in certain Layers pertain to all Frontages and prescriptions for the First Layer pertain to all Frontages. (b) Lots that

are neither Corner Lots nor Through Lots have only one Frontage, therefore Principal Frontage is synonymous with Frontage. See Frontage, **Illustration 720.5.2 (Frontage & Lot Lines)** and **Illustration 720.P-2 (Principal Frontage)**.

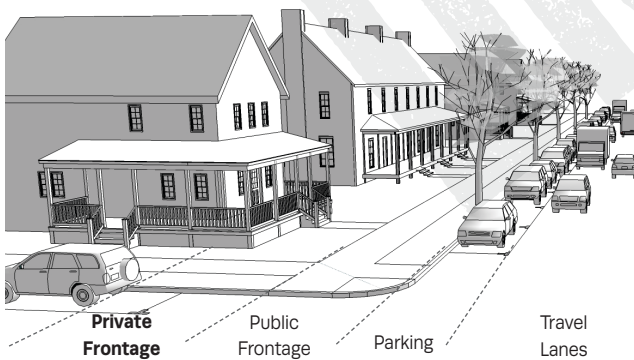
ILLUSTRATION 740.P-2 PRINCIPAL FRONTAGE



■ Principal Frontage

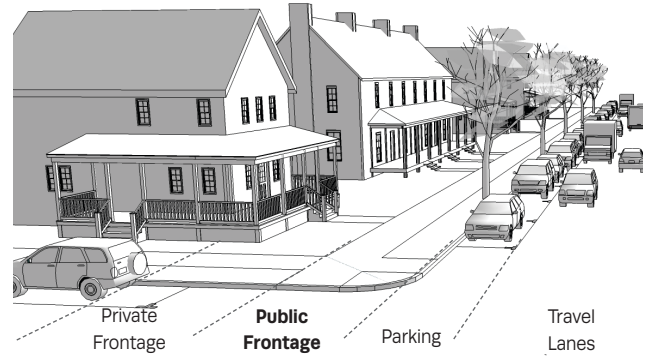
Private Frontage: the privately held area between the Frontage Line and the Principal Building Facade. See **Table 720.5.1 (Private Frontage Types)**, **Illustration 740.P-3 (Private Frontage)**, and **Illustration 720.5.2 (Frontage and Lot Lines)**.

ILLUSTRATION 740.P-3 PRIVATE FRONTAGE



Public Frontage: the area between the Frontage Line and (a) in the case of a Lot that Enfronts a Thoroughfare having Vehicular Lanes, the Curb (or if there is no Curb, the edge) of the Vehicular Lanes, or (b) in the case of a Lot that Enfronts a Civic Space, Path, Passage, waterbody, or Driveway, such Civic Space, Path, Passage, waterbody, or Driveway. See **Illustration 740.P-4 (Public Frontage)** and **Illustration 720.5.2 (Frontage and Lot Lines)**.

ILLUSTRATION 740.P-4 PUBLIC FRONTAGE



R

Rearyard: the yard type resulting from a Building occupying the full Frontage Line, leaving the rear of the Lot as the sole yard. Not synonymous with "Rear Yard".

Rear Yard: as defined in Article II. Not synonymous with "Rearyard".

Regulating Plan: a map or set of maps that shows the Character Districts, Civic Districts, Thoroughfares, and Special Requirements if any, of areas subject to, or proposed to be subject to, regulation by this Character-Based Code.

Retail: Use characterized by selling, renting, or leasing new or used goods in person, on-line, or by mail in transactions dealing directly with the consumer of such goods.

Residential Uses: Use category designated as such in **Table 720.7.1 (Permitted Principal Uses)**, pertaining to premises available for long-term, non-Transient human habitation.

S

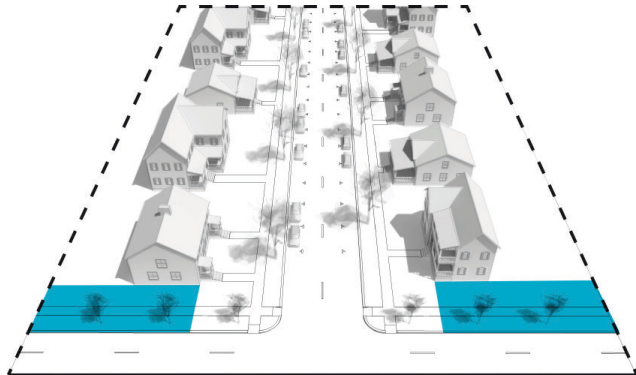
School: See "Educational Facilities, School" as defined in Article II.

Secondary Frontage: on Lots having more than one (1) Frontage, the Private Frontage that is not the Principal

SECTION 740: DEFINITIONS

Frontage. See **Illustration 740.S-1 (Secondary Frontage)**.

ILLUSTRATION 740.S-1 SECONDARY FRONTAGE

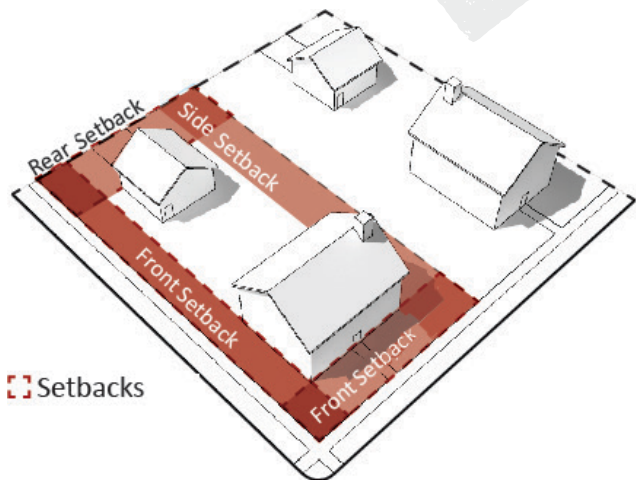


■ Secondary Frontage

Self-Service Storage Facility: premises at which customers rent separate units within a Building designed to allow private access by the customer for storing or removing personal property. Examples are mini-warehouse, multi-Story enclosed storage facility, and storage garage.

Setback: the area of a Lot measured from the Lot Line to a Building Facade that is maintained clear of permanent Structures, with the exception of permitted Encroachments, as indicated in **Illustration 720.4.1 (Setback Designations)**. See also **Illustration 740.S-2 (Setback)**.

ILLUSTRATION 740.S-2 SETBACK



■ Setbacks

Shopfront: a Private Frontage type conventional for retail Use, with substantial glazing and an awning, wherein the Facade is aligned close to the Frontage Line with the Building entrance at Sidewalk grade. See **Table 720.5.1 (Private Frontage Types)**.

Sidewalk: the paved section of the Public Frontage dedicated exclusively to pedestrian activity.

Sidewalk Sign: a Sign type, described as such in **Table 730.2-1 (Sign Types - Summary)** and **Table 730.2-2 (Sign Types - Specific Standards)**. Not synonymous with "Sidewalk, Sandwich Sign, or A-frame Sign" as defined in Article XIII.

Sidyard: the yard type resulting from a Building occupying one side of its Lot with a Setback on the other side. Not synonymous with "Side Yard" as defined in Article II.

Sign: as defined in Article XIII.

Site Plan: a graphic representation of the arrangement of existing or proposed conditions, characteristics or Improvements of or for a Development Site or other parcel of land, which is submitted in connection with a requested approval of a proposal under this Article or any other provision of the City Zoning Ordinance.

Skilled Nursing Facility: a public or private institution or a distinct part of an institution which is primarily engaged in providing inpatient skilled nursing care and related services for patients who require medical or nursing care or rehabilitation services for the rehabilitation of injured, disabled, or sick persons.

Small Multi-Family Building: See **Table 720.5.7-A (Building Types - Summary)** and **Table 720.5.7-B (Building Types - Specific Standards)**.

Special Requirements: as described in Section 700.6.3 and/or the associated designations on a Regulating Plan or other Plan for those provisions.

Sports Field or Court: a Civic Space type, described as such in **Table 720.12.2.A (Civic Space Types – Summary)** and **Table 720.12.2.B (Civic Space – Specific Standards)**.

Square: a Civic Space type designed for unstructured recreation and Civic purposes, spatially defined by Building Frontages and consisting of Paths, lawns and trees, formally disposed. See **Table 720.12.2.A (Civic Space Types – Summary)** and **Table 720.12.2.B (Civic Space – Specific Standards)**.

Standard Pedestrian Shed: a Pedestrian Shed that is an average 1/4 mile radius or 1,320 feet, about the distance of a five-minute walk at a leisurely pace. See Pedestrian Shed and **Illustration 700.12-A (Standard Pedestrian Shed)**.

Stepfront: a Private Frontage wherein the Facade is aligned close to the Frontage Line with an entrance that usually has a single step without a landing. See **Table 720.5.1 (Private Frontage Types)**.

Stoop: a Private Frontage type wherein the Facade is aligned close to the Frontage Line with the first Story elevated from the Sidewalk for privacy, with an exterior stair and landing at the entrance. See **Table 720.5.1 (Private Frontage Types)**.

Streetscreen: a type of Screen situated along a Frontage Line, or along the same plane as a Frontage Facade, and consisting of a planted evergreen hedge or freestanding wall constructed of brick or stucco over masonry, which blocks the view of parking, equipment, or other item or condition from the Frontage, provides privacy to a side yard, or strengthens the spatial definition of the public realm.

Story: a habitable level within a Building, excluding an Attic or raised Basement.

T

Terminated Vista: a location at the axial conclusion of a Thoroughfare. A Building located at a Terminated Vista location designated on a Regulating Plan is required to be designed in response to the axis. See **Illustration 740.T-1 (Terminated Vista)**.

ILLUSTRATION 740.T-1 TERMINATED VISTA



Terrace/Lightwell: a Private Frontage type wherein the Facade is set back from the Frontage Line by an elevated landing and sunken Lightwell. This type buffers Residential Uses from urban Sidewalks with the first Story elevated from the Sidewalk for privacy, and may allow for activation of space below grade. An exterior stair and landing provides access to the entrance. This type is recommended for ground-floor Residential Use. See **Table 720.5.1 (Private Frontage Types)**.

Thoroughfare: a way for use by vehicular and pedestrian traffic and to provide access to Lots, Civic Spaces, and Open Spaces, consisting of Vehicular Lanes and the Public Frontage; provided that neither a shared drive nor an Alley is a Thoroughfare. See **Illustration 740.T-2 (Thoroughfare)**.

SECTION 740: DEFINITIONS

ILLUSTRATION 740.T-2 THOROUGHFARE

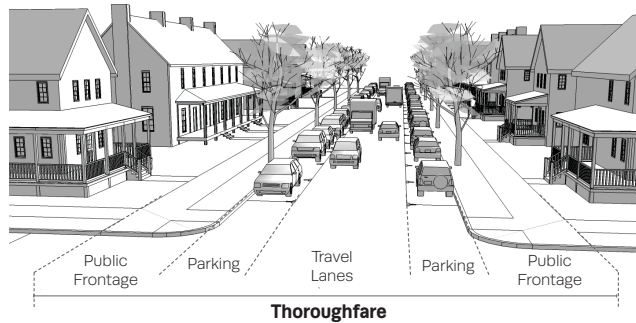
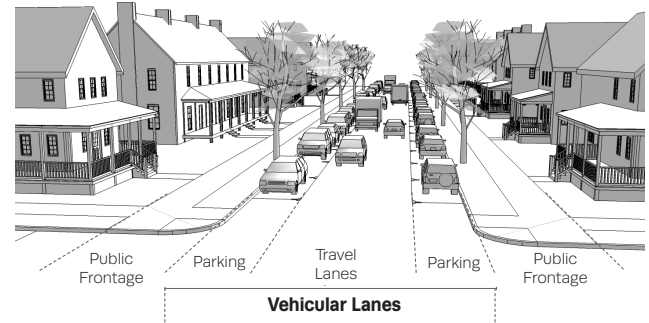


ILLUSTRATION 740.V VEHICULAR LANES



Through Lot: a Lot that abuts two (2) essentially parallel streets, which is not a Corner Lot.

Townhouse: as a Building Type under this Article VII, the Building Type described as such in **Table 720.5.7-A (Building Types - Summary)** and **Table 720.5.7-B (Building Types - Specific Standards)**; as a dwelling unit, as defined in Article II. The definition of "Dwelling, Townhouse" in Article II is not applicable under this Article VII.

Trade / Technical School: a postsecondary Educational institution designed to train students for a specific job in a skilled trade career.

U

Use: the functions, activities or uses accommodated by a Building or Lot. See **Table 720.7.1 (Permitted Principal Uses)**, **Table 720.7.2 (Permitted Accessory Uses)**, and **Table 720.7.3 (Permitted Temporary Uses)**.

V

Vehicular Lane: an area of a Thoroughfare for parked or moving vehicles.

Vehicular Uses: the Use category designated as in **Table 720.7.1 (Permitted Principal Uses)**, which refers collectively to Uses related to automobiles and other vehicles.

W

Wall Sign: a Sign type, described as such in **Table 730.2-1 (Sign Types - Summary)** and **Table 730.2-2 (Sign Types - Specific Standards)**. Not synonymous with "Wall Sign" as defined in Article XIII.

Warehousing: the indoor storage of goods, not including Self-Service Storage Facilities.

Window Sign: a Sign type, described as such in **Table 730.2-1 (Sign Types - Summary)** and **Table 730.2-2 (Sign Types - Specific Standards)**. Not synonymous with "Window Sign" as defined in Article XIII.